

IN THE SUPREME COURT OF THE STATE OF NEVADA

CITY OF LAS VEGAS, A POLITICAL
SUBDIVISION OF THE STATE OF
NEVADA,

Appellant,

vs.

180 LAND CO., LLC, A NEVADA LIMITED-
LIABILITY COMPANY; AND FORE STARS,
LTD., A NEVADA LIMITED-LIABILITY
COMPANY,

Respondents.

180 LAND CO., LLC, A NEVADA LIMITED-
LIABILITY COMPANY; AND FORE STARS,
LTD., A NEVADA LIMITED-LIABILITY
COMPANY,

Appellants/Cross-Respondents,

vs.

CITY OF LAS VEGAS, A POLITICAL
SUBDIVISION OF THE STATE OF
NEVADA,

Respondent/Cross-Appellant.

No. 84345

Electronically Filed
Aug 25 2022 08:23 p.m.
Elizabeth A. Brown
Clerk of Supreme Court

No. 84640

**JOINT APPENDIX,
VOLUME NO. 128, Pt. 10**

LAW OFFICES OF KERMITT L. WATERS

Kermitt L. Waters, Esq.

Nevada Bar No. 2571

kermitt@kermittwaters.com

James J. Leavitt, Esq.

Nevada Bar No. 6032

jim@kermittwaters.com

Michael A. Schneider, Esq.

Nevada Bar No. 8887

michael@kermittwaters.com

Autumn L. Waters, Esq.

Nevada Bar No. 8917

autumn@kermittwaters.com

704 South Ninth Street

Las Vegas, Nevada 89101

Telephone: (702) 733-8877

*Attorneys for 180 Land Co., LLC and
Fore Stars, Ltd.*

LAS VEGAS CITY ATTORNEY'S OFFICE

Bryan K. Scott, Esq.

Nevada Bar No. 4381

bscott@lasvegasnevada.gov

Philip R. Byrnes, Esq.

pbyrnes@lasvegasnevada.gov

Nevada Bar No. 166

Rebecca Wolfson, Esq.

rwolfson@lasvegasnevada.gov

Nevada Bar No. 14132

495 S. Main Street, 6th Floor

Las Vegas, Nevada 89101

Telephone: (702) 229-6629

Attorneys for City of Las Vegas

CLAGGETT & SYKES LAW FIRM

Micah S. Echols, Esq.

Nevada Bar No. 8437

micah@claggettlaw.com

4101 Meadows Lane, Suite 100

Las Vegas, Nevada 89107

(702) 655-2346 – Telephone

*Attorneys for 180 Land Co., LLC and
Fore Stars, Ltd.*

McDONALD CARANO LLP

George F. Ogilvie III, Esq.

Nevada Bar No. 3552

gogilvie@mcdonaldcarano.com

Amanda C. Yen, Esq.

ayen@mcdonaldcarano.com

Nevada Bar No. 9726

Christopher Molina, Esq.

cmolina@mcdonaldcarano.com

Nevada Bar No. 14092

2300 W. Sahara Ave., Ste. 1200

Las Vegas, Nevada 89102

Telephone: (702) 873-4100

LEONARD LAW, PC

Debbie Leonard, Esq.

debbie@leonardlawpc.com

Nevada Bar No. 8260

955 S. Virginia Street Ste. 220

Reno, Nevada 89502

Telephone: (775) 964.4656

SHUTE, MIHALY & WEINBERGER, LLP

Andrew W. Schwartz, Esq.

schwartz@smwlaw.com

California Bar No. 87699

(admitted pro hac vice)

Lauren M. Tarpey, Esq.

ltarpey@smwlaw.com

California Bar No. 321775

(admitted pro hac vice)

396 Hayes Street

San Francisco, California 94102

Telephone: (415) 552-7272

Attorneys for City of Las Vegas

CLYDE D. SMITH
1500 S. 10TH ST.
LAS VEGAS, NV 89102
702.735.1234

1 collateral for his loan - the residential lots - to be impacted if the golf course was not properly
2 designated and approved.

3 6. Attached hereto as Exhibit A is a true and correct copy of my September 4, 1996
4 letter to the City of Las Vegas seeking confirmation as the bank required. This letter was written
5 to meet the bank's requirements that no development would be constructed in this open space as
6 it wanted development of a golf course which assured the lenders that their collateral was
7 adequately protected against future development. Based upon my many years of experience and
8 many years of discussions with Mr. Peccole, I do not believe that the bank would have provided
9 funding had it been told that the golf course/open space was not appropriately designated as such
10 under the City's plans. To the contrary, that is precisely why I was instructed by Mr. Peccole to
11 obtain assurances from the City for the client's bank's protection. Attached hereto as Exhibit B is
12 a true and correct copy of the October 8, 1996 letter I received in response from the City
13 confirming that the golf course was part of the Peccole Ranch Master Plan Phase II and that the
14 expansion of the golf course was in conformity with the zoning approvals.

15 7. I can attest that Mr. Peccole was a man of his word and he would have never
16 allowed me or anyone else to make these representations to a bank - or obtain confirmation from
17 the City upon which to make such a representation - if the golf course/open space/drainage
18 property was available for residential development as opposed to the expressed uses designated
19 in the Master Plan as well as the City's General Plan. That would have been fundamentally at
20 odds with the purpose of my September 4, 1996 letter and providing the lender the City's
21 confirmation of October 8, 1996.

22 I declare under penalty of perjury under the laws of the State of Nevada that the
23 foregoing is true and correct to the best of my recollection and that I executed this declaration on
24 this 1st day of February 1, 2017.

25
26
27
28

CLYDE D. SMITH

ROR023609

25041

25018

EXHIBIT A

ROR023610

25042

25019



PENTACORE

Real Estate
Construction
Management
Land Marketing
Planning
and Consulting

0171-0030

September 4, 1995

Mr. Robert Gentz
City of Las Vegas
Planning Division
800 E. Stewart Avenue
Las Vegas, NV 89101

RE: Badlands Golf Course, Phase 2

Dear Bob,

As you know the Badlands Golf Course in Peccole Ranch is proposing to develop an additional 9 hole course between the existing golf course and Alta Drive. The existing Master Plan zoning of this area is RPD-7, and the golf course would be developed within this zoned parcel. I would like a letter from the City stating that a golf course would be compatible within this zoning. I need the letter for the bank.

Thank you for your consideration in this matter.

Sincerely,


Clyde O. Spitzer
Vice President

PLANNING AND
DEVELOPMENT

SEP 4 4 58 PM '95

RECEIVED

cc: 101

7-146-94
2-17-90

GPA-68385

6763 West Charleston Boulevard • Las Vegas, Nevada 89102 • (702) 258-9118 • Fax (702) 258-9885

PRJ-67184
200-0905/20/16

ROR023611

25043

25020

EXHIBIT B

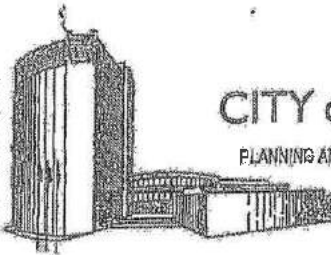
ROR023612

25044

25021

MAYOR
JAN LAVERTY JONES
COUNCILMAN
ARNE ADAMSEN
MATTHEW Q. CALLISTER
MICHAEL J. McDONALD
GARY REESE
CITY MANAGER
LARRY K. BARTON

October 6, 1996



CITY of LAS VEGAS

PLANNING AND DEVELOPMENT DEPARTMENT

Mr. Clyde O. Spitze, Vice President
Pentacore
6763 West Charleston Boulevard
Las Vegas, Nevada 89102

Re: BADLANDS GOLF COURSE, PHASE 2

Dear Mr. Spitze:

City records indicate that an 18 hole golf course with associated facilities was approved as part of the Peccole Ranch Master Plan in 1990. The property was subsequently zoned R-PD7 (Residential Planned Development - 7 Units Per Acre). Any expansion of the golf course within the R-PD7 area would be allowed subject to the approval of a plot plan by the Planning Commission.

If any additional information is needed regarding this property please do not hesitate to contact me.

Very truly yours,

Robert S. Genzer, Planning Supervisor
Current Planning Division

RSB-erh

GPA-68385

400 E. STEWART AVENUE • LAS VEGAS, NEVADA 89101-2956
(702) 229-6011 (VOICE) • (702) 386-9108 (TDD)

CLJ/7008
2010 0716 0005



ROR023613

25045

25022

EXHIBIT J-1

ROR023614

25046

25023

Exhibit J-1

11/21/96 PLANNING COMMISSION

- A-1. TM-82-96 - PECCOLE WEST LOT 10 - PECCOLE 1982 TRUST - Request for a Tentative Map on property located on the southeast corner of Hualapai Way and Alta Drive, N-U (Non-Urban) Zone under Resolution of Intent to R-PD7 (Residential Planned Development - 7 Units Per Acre), Size: 179.70 Acres, No. of Lots: 5, Ward 2 (Adamsen).

NOT A PUBLIC HEARING

P.C.: FINAL ACTION

APPLICATION REQUEST:

This request is for the approval of a Tentative Subdivision Map which contains 5 lots.

BACKGROUND DATA:

- 04/04/90 The City Council approved R-PD7 (Residential Planned Development - 7 units per acre) zoning for this site as part of a larger request (Z-17-90).
- 01/04/95 The City Council approved R-PD7 (Residential Planned Development - 7 units per acre) zoning for this site as part of a larger request (Z-146-94).

FINDINGS:

These 5 lots are development parcels which will be developed as single family compact lots and a golf course, and conform to the two related zoning cases associated with this development.

STAFF RECOMMENDATION: APPROVAL, subject to the following:

1. Conformance to the Conditions of Approval for Zoning Applications Z-17-90 and Z-146-94.
2. The Peccole West Final Map (FM 8-96) shall record prior to the recordation of the Final Map for this site as required by the Department of Public Works.
3. Provide dedication for Alta Drive in accordance with the conditions of approval stated within the Peccole West Tentative Map (TM-101-95) as required by the Department of Public Works.
4. If such has not already been completed by the Master Developer, construct half-street improvements including appropriate overpaving on Hualapai Way adjacent to this site concurrent with development anywhere on this site as required by the Department of Public Works. All existing overpaving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site as required by the Department of Public Works.

A-1. TM-82-96 - Page Two

ROR023615

25047

25024

5. Construct full width street improvements along Alta Drive between Rampart Boulevard and Hualapai Way concurrent with the first phase of development anywhere on this site as required by the Department of Public Works. Construction of Alta Drive may be phased with development of individual sites; however, the limits of construction shall be determined by the City Engineer to provide continuous corridors to the individual sites, and as is necessary to handle increases in traffic demand. The City of Las Vegas reserves the right to demand the timely construction of any and all incomplete full-width street improvements on Alta Drive between Hualapai Way and Rampart Boulevard when area traffic concerns may prompt such a request.
6. Contribute \$187,020.00 per the Peccole Ranch Signal Participation Proposal prior to the issuance of building or off-site permits as required by the Department of Public Works. The developer may provide to the City Engineer a cost breakdown based on the individual pod sites created by this map. The golf course sites must provide payment prior to the issuance of any permits for the golf course sites or prior to the recordation of a final map for those sites, whichever may occur first. If the residential pod sites are further divided, payment is expected prior to any recordation of final maps for those individual residential subdivisions. A payment plan shall be provided and payments are expected prior to any maps that allow final development of the individual sites. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. The City of Las Vegas reserves the right to utilize the contributed traffic signal monies for the installation of traffic signals at any other intersection within the general facility which is impacted by this development and which has a more immediate need for signalization.
7. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been secured.
8. Provide two lanes of paved, legal access to each individual parcel within this site prior to occupancy of any units within this development as required by the Department of Public Works.
9. Site development to comply with all applicable conditions of approval for the overall Peccole West Tentative Map TM-101-95, Z-17-90, Z-146-94 and all other site-related actions as required by the Department of Public Works.
10. The approval of all Public Works related improvements shown on this map is in concept only. Specific design and construction details relating to size, type and/or alignment of public improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. All deviations from adopted City Standards must receive approval from the City Engineer prior to the recordation of a Final Map or the approval of the construction plans, whichever may occur first.
11. Standard Condition Nos. 1 - 5.

ROR023616

25048

25025

PLANNING AND DEVELOPMENT DEPARTMENT

November 26, 1996

Mr. Bruce Bayne
Peccole 1982 Trust
9999 West Charleston Boulevard
Las Vegas, Nevada 89117

RE: TENTATIVE MAP - PECCOLE WEST LOT 10 - TM-82-96

Dear Mr. Bayne:

Your request for a Tentative Map on property located on the southeast corner of Hualapai Way and Alta Drive, N-U (Non-Urban) Zone under Resolution of Intent to R-PD7 (Residential Planned Development - 7 Units Per Acre), Size: 179.70 Acres, No. of Lots: 5, Ward 2 (Adamsen), was considered by the Planning Commission on November 21, 1996.

The Planning Commission unanimously voted to approve your request, subject to the following:

1. Conformance to the Conditions of Approval for Zoning Applications Z-17-90 and Z-146-94.
2. The Peccole West Final Map (FM 8-96) shall record prior to the recordation of the Final Map for this site as required by the Department of Public Works.
3. Provide dedication for Alta Drive in accordance with the conditions of approval stated within the Peccole West Tentative Map (TM-101-95) as required by the Department of Public Works.
4. If such has not already been completed by the Master Developer, construct half-street improvements including appropriate overpaving on Hualapai Way adjacent to this site concurrent with development anywhere on this site as required by the Department of Public Works. All existing overpaving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site as required by the Department of Public Works.

ROR023617

25049

25026

TO: Mr. Bayne
RE: TM-82-96

November 26, 1996
Page Two

5. Construct full width street improvements along Alta Drive between Rampart Boulevard and Hualapai Way as required by the Department of Public Works. Construction of Alta Drive may be phased with development of individual sites; however, the limits of construction shall be determined by the City Engineer to provide continuous corridors to the individual sites, and as is necessary to handle increases in traffic demand. The City of Las Vegas reserves the right to demand the timely construction of any and all incomplete full-width street improvements on Alta Drive between Hualapai Way and Rampart Boulevard when area traffic concerns may prompt such a request.
6. Contribute \$187,020.00 per the Peccole Ranch Signal Participation Proposal prior to the issuance of building or off-site permits as required by the Department of Public Works. The developer may provide to the City Engineer a cost breakdown based on the individual pod sites created by this map. The golf course sites must provide payment prior to the issuance of any permits for the golf course sites or prior to the recordation of a final map for those sites, whichever may occur first. If the residential pod sites are further divided, payment is expected prior to any recordation of final maps for those individual residential subdivisions. A payment plan shall be provided and payments are expected prior to any maps that allow final development of the individual sites. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. The City of Las Vegas reserves the right to utilize the contributed traffic signal monies for the installation of traffic signals at any other intersection within the general facility which is impacted by this development and which has a more immediate need for signalization.
7. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been secured.
8. Provide two lanes of paved, legal access to each individual parcel within this site prior to occupancy of any units within this development as required by the Department of Public Works.
9. Site development to comply with all applicable conditions of approval for the overall Peccole West Tentative Map TM-101-85, Z-17-90, Z-146-94 and all other site-related actions as required by the Department of Public Works.
10. The approval of all Public Works related improvements shown on this map is in concept only. Specific design and construction details relating to size, type and/or alignment of public improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. All deviations from adopted City Standards must receive approval from the City Engineer prior to the recordation of a Final Map or the approval of the construction plans, whichever may occur first.

ROR023618

25050

25027

TO: Mr. Bayne
RE: TM-82-96

November 26, 1996
Page Three

11. Approval of the Tentative Map shall be for no more than twelve (12) months. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within twelve (12) months of the approval of the Tentative Map, a new Tentative Map must be filed.
12. Street names must be provided in accord with the City's Street Naming Regulations.
13. All development is subject to the conditions of City departments and State Subdivision Statutes.
14. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the recordation of a Final Map.
15. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

This action by the Planning Commission is final unless a written appeal is filed with the City Clerk within seven days of the date of this letter or there is a review action filed by the City Council within the same time period.

Very truly yours,

David Clapsaddle, Senior Planner
Current Planning Division

DC:cc

cc: Ms. Liz Ainsworth
Pentacore Engineering, Inc.
6763 West Charleston Boulevard
Las Vegas, Nevada 89102

ROR023619

25051

25028

EXHIBIT J-2

ROR023620

25052

25029

MAYOR
JAN LAVERTY JONES
COUNCILMEN
ARNE ADAMSEN
MATTHEW Q. CALLISTER
MICHAEL J. McDONALD
GARY REESE
CITY MANAGER
LARRY K. BARTON



Exhibit J-2

CITY of LAS VEGAS
PLANNING AND DEVELOPMENT DEPARTMENT

November 26, 1996

Mr. Bruce Bayne
Peccole 1982 Trust
9999 West Charleston Boulevard
Las Vegas, Nevada 89117

RE: TENTATIVE MAP - PECCOLE WEST LOT 10 - TM-82-96

Dear Mr. Bayne:

Your request for a Tentative Map on property located on the southeast corner of Hualapai Way and Alta Drive, N-U (Non-Urban) Zone under Resolution of Intent to R-PD7 (Residential Planned Development - 7 Units Per Acre), Size: 179.70 Acres, No. of Lots: 5, Ward 2 (Adamsen), was considered by the Planning Commission on November 21, 1996.

The Planning Commission unanimously voted to approve your request, subject to the following:

1. Conformance to the Conditions of Approval for Zoning Applications Z-17-90 and Z-146-94.
2. The Peccole West Final Map (FM 8-96) shall record prior to the recordation of the Final Map for this site as required by the Department of Public Works.
3. Provide dedication for Alta Drive in accordance with the conditions of approval stated within the Peccole West Tentative Map (TM-101-95) as required by the Department of Public Works.
4. If such has not already been completed by the Master Developer, construct half-street improvements including appropriate overpaving on Hualapai Way adjacent to this site concurrent with development anywhere on this site as required by the Department of Public Works. All existing overpaving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site as required by the Department of Public Works.



400 E. STEWART AVENUE • LAS VEGAS, NEVADA 89101-2986
(702) 229-6011 (VOICE) • (702) 386-9108 (TDD)

CLV 7009
2610-015-8969

ROR023621

25053

25030

TO: Mr. Bayne
RE: TM-82-96

November 26, 1996
Page Two

5. Construct full width street improvements along Alta Drive between Rampart Boulevard and Hualapai Way as required by the Department of Public Works. Construction of Alta Drive may be phased with development of individual sites; however, the limits of construction shall be determined by the City Engineer to provide continuous corridors to the individual sites, and as is necessary to handle increases in traffic demand. The City of Las Vegas reserves the right to demand the timely construction of any and all incomplete full-width street improvements on Alta Drive between Hualapai Way and Rampart Boulevard when area traffic concerns may prompt such a request.
6. Contribute \$187,020.00 per the Peccole Ranch Signal Participation Proposal prior to the issuance of building or off-site permits as required by the Department of Public Works. The developer may provide to the City Engineer a cost breakdown based on the individual pod sites created by this map. The golf course sites must provide payment prior to the issuance of any permits for the golf course sites or prior to the recordation of a final map for those sites, whichever may occur first. If the residential pod sites are further divided, payment is expected prior to any recordation of final maps for those individual residential subdivisions. A payment plan shall be provided and payments are expected prior to any maps that allow final development of the individual sites. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. The City of Las Vegas reserves the right to utilize the contributed traffic signal monies for the installation of traffic signals at any other intersection within the general facility which is impacted by this development and which has a more immediate need for signalization.
7. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been secured.
8. Provide two lanes of paved, legal access to each individual parcel within this site prior to occupancy of any units within this development as required by the Department of Public Works.
9. Site development to comply with all applicable conditions of approval for the overall Peccole West Tentative Map TM-101-95, Z-17-90, Z-146-94 and all other site-related actions as required by the Department of Public Works.
10. The approval of all Public Works related improvements shown on this map is in concept only. Specific design and construction details relating to size, type and/or alignment of public improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. All deviations from adopted City Standards must receive approval from the City Engineer prior to the recordation of a Final Map or the approval of the construction plans, whichever may occur first.

ROR023622

25054

25031

TO: Mr. Bayne
RE: TM-82-96

November 26, 1996
Page Three

11. Approval of the Tentative Map shall be for no more than twelve (12) months. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within twelve (12) months of the approval of the Tentative Map, a new Tentative Map must be filed.
12. Street names must be provided in accord with the City's Street Naming Regulations.
13. All development is subject to the conditions of City departments and State Subdivision Statutes.
14. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the recordation of a Final Map.
15. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

This action by the Planning Commission is final unless a written appeal is filed with the City Clerk within seven days of the date of this letter or there is a review action filed by the City Council within the same time period.

Very truly yours,



David Clapsaddle, Senior Planner
Current Planning Division

DC:cc

cc: Ms. Liz Alsworth
Pentacore Engineering, Inc.
6763 West Charleston Boulevard
Las Vegas, Nevada 89102

ROR023623

25055

25032

EXHIBIT J-3

ROR023624

25056

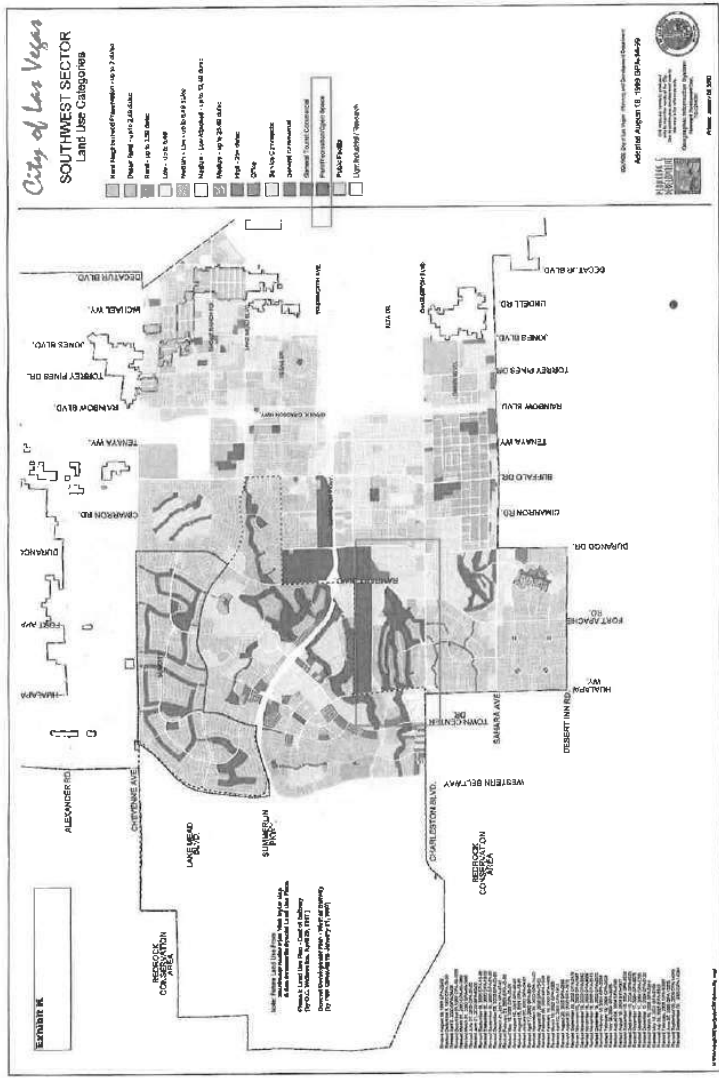
25033

EXHIBIT K

ROR023626

25058

25035



ROR023627

25059

25036

Planning & Zoning 101

1

ROR023628

25060

25037

• **QUESTION:** Does zoning “Trump” the LVC 2020 Master Plan (Also referred to as “General Plan”) and its land use designations as argued by the Developer and the City Planning Department (EXHIBIT 1 & 2) or does zoning only implement the allowable densities and corresponding zoning categories provided under the General Plan?

• **ANSWER:** NRS Chapter 278, the City’s General Plan and City Code, the Nevada Supreme Court and the City’s own approvals regarding the Peccole Ranch Master Development Plan – Phase II, confirm the Developer and the City’s Planning Department are 100% wrong and zoning does not “Trump” the City’s General Plan.

Creation of City's General Plan

- In April, 1990, when the City Council approved the Peccole Ranch Master Development Plan – Phase II (“Peccole-Phase II”), the City had previously adopted a General Plan pursuant to NRS 278.150 which provided for Residential Planned Development Districts. (“RPDs”) (Exhibit 3)
- The City ordinance then in effect, 19.18.030, clearly states the number of dwelling units per GROSS acre in the R-PD District shall be determined by the General land use Plan. (Exhibit 4) This requirement has not changed since that time.
- In 1992, the City adopted a more complete General Plan and that General Plan has evolved into the current C-LV 2020 Master Plan.

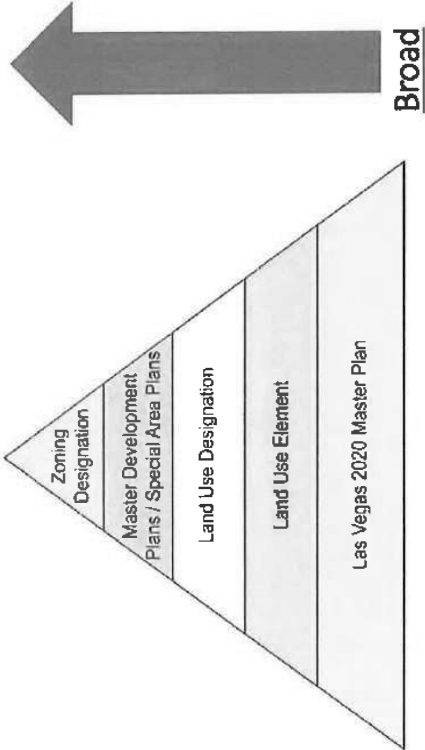
The City's General Plan/Master Plan Is Entitled "The Las Vegas 2020 Master Plan".

- The **General Plan/Master Plan** is the foundation for land use planning by units of local government. The Plan provides a vision for the foreseeable planning horizon – usually 10 to 20 years – and translates it into goals and policies for the physical development of the city or county. All other land use ordinances, policies and practices flow from the general plan. The General Plan/Master Plan covers all of the land within the jurisdiction and any additional land that, in the agency's judgment, bears relation to its planning. (Land Use Elements, Page 19)
- **NRS 278**
 - The State of Nevada pursuant to **NRS 278.150** requires the City to prepare and adopt a comprehensive, long-term general plan for the physical development of the city.
 - pursuant to **NRS 278.160** the General Plan must include the following
 - A land use plan, including an inventory and classification of types of natural land and of existing land cover and uses, and comprehensive plans for the most desirable utilization of land.
 - The land use plan; must, if applicable, address mixed-use development, transit oriented development, master-planned communities and gaming enterprise districts.
 - As previously set forth, the City of Las Vegas adopted its first General Plan prior to the 1990 approval of Peccole – Phase II.

Land Use Hierarchy CLV 2020 Master Plan

The land use hierarchy of the city of Las Vegas is designed to progress from broad to specific.

Specific



5

ROR023632

25064

25041

**The Following are the various levels established by
the Land Use Hierarchy in the CLV 2020 Master
Plan**

- Land Use Element (Page 7)
- Land Use Designations (Page 8)
- Master Development Plans/Special Area Plans (Pages 9 & 10)
- Zoning designation (Page 11)

Land Use Element

- Land Use Element of the CLV General Plan - is the central element of the General Plan. It serves as the long-range planning tool used in conjunction with other elements of the Master Plan to guide the city's future growth, revitalization, and preservation efforts.
- Land Use Element is designed to provide updated information regarding existing land use and to be a quick reference for future land use definitions, **allowable densities** and **corresponding zoning** categories.

Land Use Designations

Table 5: Master Plan Land Use Designations

Master Plan Land Use Designations	RESIDENTIAL										COMMERCIAL/ INDUSTRIAL				OTHER				
	FMP	DR	R	L	ML	MIL	M	H	RCD	D	SC	GC	LIR	TC	FR-OS	PF	TND	DWAD	
Master Plan Designation																			
Maximum Allowable Density (Units Per Acre)	2.00	2.49	3.59	5.49	6.49	12.49	25.49	>25.49	8.00	N/A	N/A	N/A	N/A	See Town Center Chart	N/A	N/A	Varies	See Vegas Medical District Chart	
Allowable Zoning Categories	UP, RE	U, RE	U, RE, RD	U, RE, RS, R3L, R4H, R4MH	R2, R3H, R4H	R2, R3H, R4H	R2, R3H, R4H	R4, R3, R2, R1H	PD, R2, R1H	O, P-O	C, P-O	C2, C1, C, P-O	M, C-M, C-1, P-O	See Town Center Chart	C-V	C-V	R2, R3, R2, R1, RE, C2, C1, O	See Las Vegas Medical District Chart	

* Per LVMC Title 19.18.020, an undeveloped property may be zoned U (RNP) until it is rezoned or until such time as a proper classification is determined.

† The density of a development within the TNE of an approved master planned development.

* The PD Zoning District shall require a minimum acreage of 40 acres.

- All 27 holes of the Badlands Golf Course have been officially designated PR-05 by the City pursuant to the above Land Use Designations in the General Plan/Master Plan for more than 20 years. PR-05 does not provide for any allowable residential density.
- The only allowable zoning category under PR-05 is CV ("Civic"). R-PD7 is not certified as an allowable zoning category in the PR-05

Master Development Plan

- Master planned areas are comprehensively planned developments that are Consistent with the General Plan and other applicable plans, policies, standards and regulations.
- Master Development Plan: A specific written plan with accompanying land use maps and text which identify, with respect to any PUD including RPD, PD, and PCD District development, the proposed location and size of development parcels, **land uses and zoning designations**; transportation plans and a traffic impact analysis; **open space**, community facilities and amenity plans; and the applicable development regulations and design standards
- Peccole – Phase II is an approved Master Development Plan in conformance with the City's General Plan
 - Exhibit 5: City Council minutes of April 4, 1990 (At the Planning Commission meeting, staff indicated that the density of the Master Plan was within the average density of 7 units per acre recommended in the General Plan)
 - Exhibit 6: City's confirmation letter dated January 29, 1991.

Master Development Plan – Cont.

The Peccole Ranch Master Development Plan Phase II: Conforms to the General Plan

- Conformance to the General Plan Requirements:
 - Provides for an Efficient, orderly and complementarity variety of land uses.
 - Encourages the master planning of large parcels under single ownership....to ensure a desirable living environment...
 - Provides for the continuing development of a diverse system of open space. (Page 17 of the Peccole Ranch master Development Plan Phase II as adopted by City Council April 1990)
 - According to the General Plan, Peccole Ranch is a **Master Development Plan which conforms**, and is similar to others located within the Southwest Sector: Canyon Gate, Desert Shores, The Lakes, Ranch South Shores, Summerlin North, Summerlin West & Sun City.
 - Exhibit 7: Excerpt from 1992 General Plan
 - Exhibit 8: Excerpts from Land Use element
 - Exhibit 9: Southwest Sector Land Use categories map, revised February 18, 2015

10

ROR023637

25069

25046

Zoning Designation

The Relationship of Zoning to the City's Master/General Plan is set forth in Title 19 and specifically in 19.00.040

"The adoption of this Title is consistent and compatible with and furthers the goals, policies, objectives and programs of the General Plan.

For purposes of this Section, "consistency with the General Plan" means not only consistency with the Plan's land use and density designations, but also consistency with all policies and programs of the General Plan, including those that promote compatibility of uses and densities, and orderly development consistent with available resources."

Zoning Implements Densities Established by the General Plan/Master Plan and Zoning must be in Conformance with the General Plan

- State of Nevada: The zoning regulation must be adopted in accordance with the City's Master Plan for land use (NRS 278.250-2).
- See Land Use Element – Page 7.
- Unified Development Code of the City of Las Vegas (Title 19): Any zoning or rezoning request must be in substantial agreement with the Master Plan (General Plan) as required by Nevada Revised Statutes 278.250 and Title 19.00 of the Las Vegas Municipal Code.
- NOVA Horizon v. City Council, Reno 105 Nev. 92,02 (1989)
 - The Nevada Supreme Court held that a Zoning Authority must adopt zoning regulations that are in substantial agreement with the Master Plan (NRS 278.250.2) including any land use guide (NRS 278.010). The court further "...determined that Master Plans are to be accorded substantial compliance under Nevada's Statutory scheme..."
- Approval of Peccole – Phase II by City Council in April, 1990 required densities to be in conformance to the General Plan (Exhibit 5).

CONCLUSION

It is irrefutable that zoning regulations only implement, not create, the densities provided for in the City's Master Plan and any zoning must be in substantial conformance to the allowable densities established in the City's land use element.

(Footnote: The developer predicates its claim that zoning "Trumps" the General Plan based upon an erroneous belief that there was pre-existing zoning (R-PD7) on the golf course property before the City adopted its General Plan in 1992. (See Exhibit 2) First, the City had a General Plan when Peccole-Phase II was approved in 1990 and the City's approval references conformance to the existing General Plan. Second, and more importantly, the pre-existing zoning resolutions of intent regarding Peccole Phase II were specifically expunged by the City when it approved the three zoning categories – R-PD7, R-3 & C-1, for Peccole-Phase II in April 1990. – (Exhibit 6)

EXHIBIT 1

ROR023641

25073

25050



January 9, 2017

General Plan Amendment of Parcel No. 138-31-702-002

Dear Neighbor,

The General Plan Amendment ("GPA") on Parcel No. 138-31-702-002 from PR-OS (Parks, Recreation and Open Space) to L (Low Density Residential) is an administrative corrective action directed by City of Las Vegas Planning Staff to bring the City of Las Vegas 2020 Master Plan into conformance with the already existing R-PD7 zoning (Residential Planned Development District – 7.49 Units per Acre). The current PR-OS designation does not reflect the underlying residential zoning of R-PD7 or the intended residential development use of the Property, as illustrated by the attached 61 Lot Subdivision, an application for which, is currently in process.

Please be aware that City of Las Vegas Planning Staff has recommended approval of the Applicant's February 14, 2017 abeyance request and this abeyance request will be heard at tomorrow night's Planning Commission meeting. As always, if you have any additional questions and/or concerns please feel free to contact Jennifer Knighton at 702-940-6930 or jknighton@ehbcompanies.com to schedule a time to speak or meet.

Sincerely yours,

p 702-940-6930 f 702-940-6931 1215 S. Fort Apache Drive, Suite 120 Las Vegas, NV 89117 ehbcompanies.com

ROR023642

25074

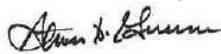
25051

EXHIBIT 2

ROR023643

25075

25052


CLERK OF THE COURT

ROFF

James J. Jimmerson, Esq.
Nevada State Bar No. 00264
JIMMERSON LAW FIRM, P.C.
415 South 6th Street, Suite 100
Las Vegas, Nevada 89101
Telephone: (702) 388-7171
Facsimile: (702) 380-6422
Email: jjj@jimmersonlawfirm.com
*Attorneys for Fore Stars, Ltd.,
180 Land Co., LLC and
Seventy Acres, LLC*

**DISTRICT COURT
CLARK COUNTY, NEVADA**

JACK B. BINION, an individual; DUNCAN R.
and IRÈNE LEE, individuals and Trustees of the
LEE FAMILY TRUST; FRANK A. SCHRECK,
an individual; TURNER INVESTMENTS,
LTD., a Nevada Limited Liability Company;
ROGER P. and CAROL YN G. WAGNER,
individuals and Trustees of the WAGNER
FAMILY TRUST; BETTY ENGLESTAD AS
TRUSTEE OF THE BETTY ENGLESTAD
TRUST; PYRAMID LAKE HOLDINGS, LLC;
JASON AND SHEREEN AWAD AS
TRUSTEES OF THE AWAD ASSET
PROTECTION TRUST; THOMAS LOVE AS
TRUSTEE OF THE ZENA TRUST; STEVE
AND KAREN THOMAS AS TRUSTEES OF
THE STEVE AND KAREN THOMAS TRUST;
SUSAN SULLIVAN AS TRUSTEE OF THE
KENNETH J. SULLIVAN FAMILY TRUST;
AND DR. GREGORY BIGLER AND SALLY
BIGLER

Plaintiffs,

vs.

FORE STARS, LTD., a Nevada Limited
Liability Company; 180 LAND CO., LLC, a
Nevada Limited Liability Company; SEVENTY
ACRES, LLC, a Nevada Limited Liability
Company; and THE CITY OF LAS VEGAS,

Defendants.

CASE NO. A-15-729053-B

DEPT. NO. XXVII

Courtroom #3A

**DEFENDANTS FORE STARS, LTD., 180
LAND CO., LLC AND SEVENTY ACRES,
LLC'S REPLY in support of
MOTION TO DISMISS FIRST AMENDED
COMPLAINT**

**And
OPPOSITION TO COUNTERMOTION
UNDER NRCP 56(f)**

Come now Defendants Fore Stars, Ltd., 180 Land Co., LLC and Seventy Acres, LLC (at times
collectively "Defendants") and hereby file this Reply in support of their Motion to Dismiss Plaintiffs'
First Amended Complaint, and Opposition to the Countermotion under NRCP 56(f). This Reply and
Opposition is based on NRCP 12(b)(5), the attached memorandum of points and authorities, the

ROR023644

25076

25053

1 foreshadowed by Mr. Bice as part of his December, 2015 press interview), premised on the same
2 argument that they had "vested rights" that they could assert pursuant to the Master Declaration and
3 their purchase documents. In the course of four (4) months, there were ninety (90) filings in that case,
4 including a Motion to Dismiss by Defendants. Judge Denton did not have the benefit of the extensive
5 record when ruling on the first Motion to Dismiss in this case. Judge Smith specifically found⁵ that:

- 6 • Queensridge Master Planned Community was **not** a 278A PUD community;
- 7 • NRS 278A did not apply to the Queensridge Master Planned Community;
- 8 • Queensridge was a CIC under NRS 116;
- 9 • NRS 278A does not apply to common interest communities;
- 10 • Defendants' actions in creating parcel maps were proper;
- 11 • Defendants have hard zoning and a right to develop the Land;
- 12 • The Master Declaration, and its' restrictions, do not apply to the Land.

13 **C. Plaintiffs Red Herring Arguments.**

14 Plaintiffs attempt to confuse and/or mislead this Court by pointing to an erroneous and
15 irrelevant PR-OS land use element, which they contend allegedly prevents the Land from being
16 developed as residential. But as the Planning Director and Assistant Planning Director repeatedly
17 confirmed, "One has the right to petition the government—regarding land use entitlements or
18 applications and ultimately the City Council will make their decision." See excerpts of Deposition of
19 Tom Perrigo and Peter Lowenstein, attached as Exhibits "EE" and "FF."

20 Land use is only a planning tool to get to zoning that either identifies how the land is presently
21 being used or provides guidance as to the preference of how it should be used in the future, but that
22 between the two, zoning "trumps" the General Plan and its land use designation. See excerpts of
23 Deposition of Tom Perrigo and Peter Lowenstein, attached as Exhibits "GG" and "HH." Indeed, the
24 *Cassinelli v. Humboldt County* decision, Exhibit "I" to the Motion to Dismiss, confirms at p. 5 that
25 "because the zoning ordinance existed before the...master plan, and the county did not revise its
26 zoning ordinances after the master plan was adopted, NRS 278.250 (2) does not apply," and further
27 concluded that "master plans should not be viewed as a 'legislative straightjacket from which no leave

28 ⁵ See November 30, 2016 Findings of Fact, Conclusions of Law and Order Granting Defendants' Motion to Dismiss,
attached as Exhibit "MM," Findings No. 41-74.

1 can be taken"—local discretion is permissible." Once you have the zoning, the head is effectively
2 removed from the body, unless you seek a change.

3 The City of Las Vegas Land Use & Rural Neighborhoods Preservation Element of the 2020
4 Master Plan, adopted by the City Council on September 2, 2009 and revised on May 8, 2012, provides
5 at page 19 the land use hierarchy demonstrating how the City of Las Vegas uses the Master Plan, Land
6 Use Element, Land Use Designation, and Master Development Plans to get to zoning.¹ See Land Use
7 Hierarchy Table, attached as **Exhibit "II."** The only time the Master Plan or any of the other "layers"
8 need to be revisited is when one is requesting a change in existing zoning. But Defendants have always
9 had the right, and retain the right, to develop the Land within its existing R-PD7 zoning entitlements:

10 The land use element passed in 1992 to be generally applied in the neighborhood of
11 Defendants' property at no time affected Defendants' ability to develop its property or the precedence
12 of its zoning entitlements. Specifically, Bill No. 92-2, Ordinance No. 3636, dated April 1, 1992, which
13 adopted a Land Use Element for the Southwest Sector, *specifically exempted the Land Use*
14 *Designation from affecting in any regard Defendants' predecessor's ability to develop its property in*
15 **SECTION 3, providing:**

16 The adoption of the General Plan referred to in this Ordinance **shall not be deemed to**
17 **modify or invalidate any proceeding, zoning designation, or development approval**
18 **that occurred before the adoption of the Plan** nor shall it be deemed to affect the
19 Zoning Map adopted by and referred to in LVMC 19.02.040." See Bill No. 92-2, Exhibit
20 "JJ," at Section 3.

21 Further, NRS 278 is explicit that in the event that a Land Use Designation of a City's Master
22 Plan (generally referred to as "General Plan") is inconsistent with the zoning entitlements, the zoning
23 entitlements and ordinances shall take precedence. NRS 278.349(3)(e), for example, provides:

24 "3. The governing body, or planning commission if it is authorized to take final action
25 on a tentative map, shall consider: (e) Conformity with the zoning ordinances and
26 master plan, except that if any existing zoning ordinance is inconsistent with the master
27 plan, **the zoning ordinance takes precedence;** (Emphasis added)."

28 **D. Plaintiffs Are Not Aggrieved Parties With Standing to Complain About Parcel Maps
on Adjacent Land, Particularly When The Proper Process Was Followed.**

Plaintiffs ridiculously allege that Defendants were engaged in "serial mapping" to allegedly
conceal from Plaintiffs and other homeowners their plans and "evade the law." That is patently untrue,
as evidenced by Defendants' transparency through multiple meetings held at the Queensridge HOA to

1 the land use?

2 A. The -- not instances. Again, my
3 understanding, and I probably have to defer to the
4 City Attorney's Office with whom I have had
5 conversations regarding this exact question --

6 Q. Don't tell me exactly what they have told
7 you. I'm trying to understand what your position
8 is.

9 A. I'm not going to tell you what they told
10 me.

11 Q. Okay.

12 A. My position is that the zoning is the --
13 what's the proper way to say it? The zoning governs
14 more -- I guess zoning first, land use second.

15 Q. So --

16 A. If the land use and the zoning aren't in
17 conformance, then the zoning would be a higher order
18 entitlement, I guess.

19 Q. So it's your position that zoning
20 supercedes the general plan --

21 A. Yes.

22 Q. -- or the master plan?

23 A. Yes.

24 Q. Is that spelled out anywhere in the City's
25 code?

ROR023647

25079

25056

EXHIBIT 3

ROR023648

25080

25057

A. INTRODUCTION

The Short-Range Plan contains the administrative mechanism whereby the city seeks to support and fulfill the concepts contained in the policies and programs enumerated in the Long and Mid-Range plans. The Short-Range Plan presents a procedure by which the city's objectives can be measured and the day-to-day task of analyzing urban development can be charted.

In essence, this portion of the General Plan becomes an implementing tool to achieve the standards established for tomorrow's growth. Because of the active nature of the Short-Range Plan, it is more precise and is formatted differently than the prior plans. Its purpose is to assist in the provision of appropriate and compatible land uses.

In this context, the focus of the General Plan, as presented in the Short-Range Plan, switches away from goals, policies and programs and proposes land use concepts as a systematic method to integrate the objectives of the previous plans. The Short-Range Plan becomes less abstract. It encourages development which will accommodate and improve the diverse lifestyles desired by Las Vegas residents.

B. CONCEPT OF THE SHORT-RANGE PLAN

This section of the General Plan develops a format which is useful, consistent, and will, in fact, promote the vast arrangement of different living environments needed in the City of Las Vegas. The City's approach to addressing this need was to develop planning districts based upon the intensity of urban development expressed in terms of population per square mile. Each square mile and the population density contained within it become a basic planning and measuring unit from which almost all additional calculations are made. This planning unit is referred to as a Residential Planning District. The combination of two or more Residential Planning Districts of a predominant or homogeneous characteristic are classified as a Community Profile. The merger of the Community Profiles produces the geographical area called Las Vegas.

C. RESIDENTIAL PLANNING DISTRICTS (RPD'S)

The policies contained in the Short-Range Plan focus on residential development. To accommodate different living environments and lifestyles, the Short-Range Plan provides three basic types of Residential Planning Districts: Urban, Suburban and Rural. Flexibility and variation in the types and development densities in each RPD are provided by a range of density categories. An RPD is a geographic area that is generally one-mile square and bounded by primary thoroughfares.

Each of the three basic residential planning districts reflects design concepts and distinctive residential lifestyles. A district may include several types of development; however, each type of planning district will retain an overall character and density established by the General Plan. The Community Profiles, when taken together, include all the RPDs in the City and reflect the composite population established for the entire city. The three types of residential planning districts are described as follows:

Not all Residential Planning Districts will be optimum size. Portions of Residential Planning Districts may also contain non-residential development or uses that do not relate directly to the needs of the area. When this occurs, Table 3.2 is to be utilized to determine the reduction factor as well as the designed dwelling units and population for each type of residential planning district.

TABLE 3-2
RPD Population & Dwelling Units -- Reduction Factors

Percent of Area ¹	Reduction Factor	Urban RPD		Suburban RPD		Rural RPD	
		Population	Units	Population	Units	Population	Units
10- 19%	.16	16,100	8,300	10,200	3,700	2,500	900
20- 29%	.25	14,200	7,300	9,000	3,300	2,200	800
30- 39%	.35	12,400	6,400	7,800	2,900	1,900	700
40- 49%	.45	10,600	5,400	6,600	2,400	1,600	600
50- 74%	.63	7,000	3,600	4,400	1,600	1,100	400
75-100%	.88	2,300	1,200	1,400	500	400	200

¹Percent of land area in other uses not listed in the RPD residential or non-residential standards as specified in Table 3.1.

NOTE: Population and dwelling units may not correlate due to rounding.

E. MIXTURE OF DENSITY CATEGORIES WITHIN RESIDENTIAL PLANNING DISTRICTS

While each of the aforementioned types of residential planning districts define an overall character of development, a variation in residential densities can be expected to occur within each RPD. Each of the three types of living environments and accompanying lifestyles include a range of residential categories. For example, an Urban Residential Planning District can include both high-density apartments and small lot single family homes. The Rural Residential Planning district is designed to permit a range of housing from conventional single family tract homes, to estate size single family homes on several acres.

The population and density capacities for each of the residential planning districts are summarized in Table 3.3.

TABLE 3-3
Residential Planning Districts Planning Capacities

RPD Type	Population Per Square Mile	Dwelling Units Per Square Mile	People Per Gross Acre
Urban	17,000-19,000	9,800	26.6-29.7
Suburban	11,000-12,000	4,400	17.2-18.8
Rural	2,500- 3,000	1,100	3.9- 4.7

Table 3.4 sets forth guidelines for the mix of residential densities that can be expected in each type of residential planning district. If one of the density categories is exceeded in any particular residential planning district, the difference must be made up from other density categories in order to maintain the same overall character and density pattern within the residential planning district.

TABLE 3-4
RPD Density Ratios
Percent of Residential Land Area by Type of Dwelling Unit Density

Density Category DU's/ Gross Acre	High Over 20	Medium 12-20	Medium Low 6-12	Low 3-6	Rural 0-3
RPD					
Urban	50%	25%	25%	0	0
Suburban	0	10%	60%	30%	0
Rural	0	0	0	15%	85%

F. COMMUNITY PROFILE SYSTEM

Community Profiles are designated areas of the City comprising two or more residential planning districts and having a predominant or homogeneous characteristic, such as the City's "downtown" area or the medical facility area in the vicinity of the Southern Nevada Memorial Hospital. The community profile maps reflect the preferred location and density ranges for the various types of land uses throughout the City. Consequently, there may be more area designated for certain types of land uses and greater densities than would ultimately be allowed for the purpose of providing development options. The amount of land allocated to the land uses and the densities on each profile map are continually balanced by City staff in conjunction with the Residential Planning District System to result in the designed number of residential dwelling units and support uses.

Sixteen Community Profiles, each with a separate land use map and supporting text, comprise the General Plan study area. This system of profile areas can be expanded as circumstances require. These profile maps and texts enable the City to review individual development projects in terms of land use and the policies contained in the General Plan. Thus, land use totals will change over time as development occurs and the desired balance of uses is achieved.

EXHIBIT 4

ROR023654

25086

25063

19.18.027

PD District, subject to the limitations set forth in Sections 19.55.010 and 19.55.020
(Ord. 3224 § 8, 1986)

19.18.027 Conditional uses. The following additional use is permitted in the R-PD District, subject to the securing of a special use permit in each case as provided in Chapter 19.90:

(A) Residential facility for adult care, provided it meets the criteria set forth in Section 19.10.060.
(Ord. 3251 § 13, 1986)

19.18.030 Density designation. The number of dwelling units permitted per gross acre in the R-PD District shall be determined by the General Land Use Plan. The number of dwelling units per gross acre shall be placed after the zoning symbol "R-PD"; for example, a development for six units per gross acre shall be designated as "R-PD6."
(Ord. 1582 § 3 (part), 1972; prior code § 11-1-11.B(C))

19.18.040 Size. The minimum site area requested in the R-PD District shall be five acres, except the Board of Commissioners may waive the minimum site area.
(Ord. 1582 § 3 (part), 1972; prior code § 11-1-11.B(D))

19.18.050 Presubmission conference — Plans required.

(A) Generally, a presubmission conference shall be required for a planned unit development with the developer, or his authorized representative, and staff of the Planning Department to discuss density requirements and preliminary site planning.

(B) Plans necessary for submission with an application for a planned unit development are as follows:

(1) Five sets of complete development plans showing the proposed uses for the property including dimensions and location of all proposed structures, parking spaces, common areas, private drives, public streets and the exterior boundaries. If the development is to be constructed in phases, each phase shall be delineated on the site plan. Each set of plans shall include floor plans and elevations of buildings;

(2) Drainage information which shall consist of either a contour map or sufficient information indicating the general flow pattern or percentage of slope;

(3) One copy of the conditions, covenants and restrictions (CC&R's).

(Ord. 1582 § 3 (part), 1972; prior code § 11-1-11.B(E))

EXHIBIT 5

ROR023656

25088

25065

X.

G. ZONE CHANGE - PUBLIC HEARING

3. Master Development Plan Amendment related to Z-17-90

This is a request to amend a portion of a previously approved Master Plan for the Peccole Ranch Property, Phase II. Phase II contains 996.4 acres and comprises property located south of Angel Park between Durango Drive and Hualpai May extending south to Sahara Avenue. There are 4,247 units proposed and the gross density for Phase II is 4.3 dwelling units per acre. A related item, Z-17-90, is Item X.8.4. on this agenda.

Master Development Plans have been approved for this property in 1981, 1986 and 1989. The portion identified as Phase I was approved as part of the 1989 Plan and is currently under development. The significant changes to this plan from the 1989 plan is the addition of a golf course, a larger resort/casino site and the 100 acre commercial center site north of Alta Drive, between Durango Drive and Rampart Boulevard. The proposed multi-family uses have been reduced from 105 acres to 60 acres. A 19.7 acre school site is designated on a site south of Charleston Boulevard. The following table indicates the proposed land uses and acreage for Phase II:

<u>LAND USE</u>	<u>PHASE II ACREAGE</u>	<u>PERCENT OF SITE</u>
Single Family	401	40.30%
Multi-family	60	6.02%
Neighborhood Commercial/Office	194.3	19.50%
Resort/Casino	56.0	5.62%
Golf Course/Drainage	211.6	21.24%
School	13.1	1.31%
Rights-of-Way	60.4	6.07%

At the Planning Commission meeting, staff indicated that the density of this Master Plan was within the average density of 7 units per acre recommended in the General Plan. Staff recommended, however, that Apple Lane should be extended to Durango Drive in conjunction with the shopping center site. The Planning Commission recommended approval of the Plan subject to the resort site and shopping center uses being posted with signs to indicate the proposed uses. The Planning Commission also required that the surrounding property owners be notified when development plans for the resort and commercial center sites are submitted for review.

There were several protestants at the meeting who voiced their objection to the size of the shopping center site and the proposed destination resort site.

Planning Commission Recommendation: APPROVAL

Staff Recommendation: APPROVAL

PROTESTS: 5 (at meeting)

SEE ATTACHED LOCATION MAP


HAROLD P. FOSTER, DIRECTOR
DEPARTMENT OF COMMUNITY PLANNING
AND DEVELOPMENT

ROR023657

25089

25066

EXHIBIT 6

ROR023658

25090

25067

Exhibit # 6

MAYOR RON LURIE
COUNCILMEN
BOB NOLEN
STEVE MILLER
ARNE ADAMSEN
SCOTT HIGGINSON



CITY of LAS VEGAS

CORRECTED LETTER

January 29, 1991

William Peccole 1982 Trust
2760 Tioga Pines Circle
Las Vegas, Nevada 89117

RE: Z-17-90 - ZONE CHANGE

Gentlemen

The City Council at a regular meeting held April 4, 1990 APPROVED the request for reclassification of property located on the east side of Hualpai Way, west of Durango Drive, between the south boundary of Angel Park and Sahara Avenue, from: N-U (Non-Urban)(under Resolution of Intent to R-1, R-2, R-3, R-PD7, R-PD8, R-MHP, P-R, C-1, C-2 and C-V), to: R-3 (Limited Multiple Residence), R-PD7 (Residential Planned Development) and C-1 (Limited Commercial). Proposed Use Single Family Dwellings, Multi-Family Dwellings, Commercial, Office and Resort/Casino, subject to:

1. A maximum of 4,247 dwelling units be allowed for Phase II
2. Conformance to the conditions of approval for the Peccole Ranch Master Development Plan, Phase II.
3. Approval of plot plans and building elevations by the Planning Commission for each parcel prior to development.
4. At the time development is proposed on each parcel appropriate right-of-way dedication, street improvements, drainage plan/study submittal, drainageway improvements, sanitary sewer collection system extensions and traffic signal system participation shall be provided as required by the Department of Public Works



400 E STEWART AVENUE • LAS VEGAS, NEVADA 89101 • (702) 386-6011

ROR023659

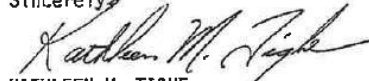
25091

25068

William Peccole 1982 Trust
January 29, 1991
RE. Z-17-90 - ZONE CHANGE
Page 2.

- 5 Signs shall be posted on the resort/casino and commercial center sites to indicate the proposed uses.
- 6 The surrounding property owners shall be notified when the development plans for the resort/casino and commercial center sites are submitted for review.
7. The existing Resolution of Intent on this property is expunged upon approval of this application.
8. Resolution of Intent with a five year time limit.
- 9 Satisfaction of City Code requirements and design standards of all City departments.
10. Approval of the parking and driveway plans by the Traffic Engineer.
11. Repair of any damage to the existing street improvements resulting from this development as required by the Department of Public Works
12. Provision of fire hydrants and water flow as required by the Department of Fire Services.

Sincerely,


KATHLEEN M TIGHE
City Clerk

KMT:cmp

cc: Dept. of Community Planning & Development
Dept of Public Works
Dept of Fire Services
Dept. of Building & Safety
Land Development Services

1515 Mr. A. Wayne Smith
A. Wayne Smith & Associates
1444 E. Missouri, Suite 100
Phoenix, Arizona 85014

VTN Nevada
2300 Paseo Del Prado, A-100
Las Vegas, Nevada 89102

Sean McGowan
2300 W. Sahara, Box 10
Las Vegas, Nevada 89102

ROR023660

25092

25069

EXHIBIT 7

ROR023661

25093

25070

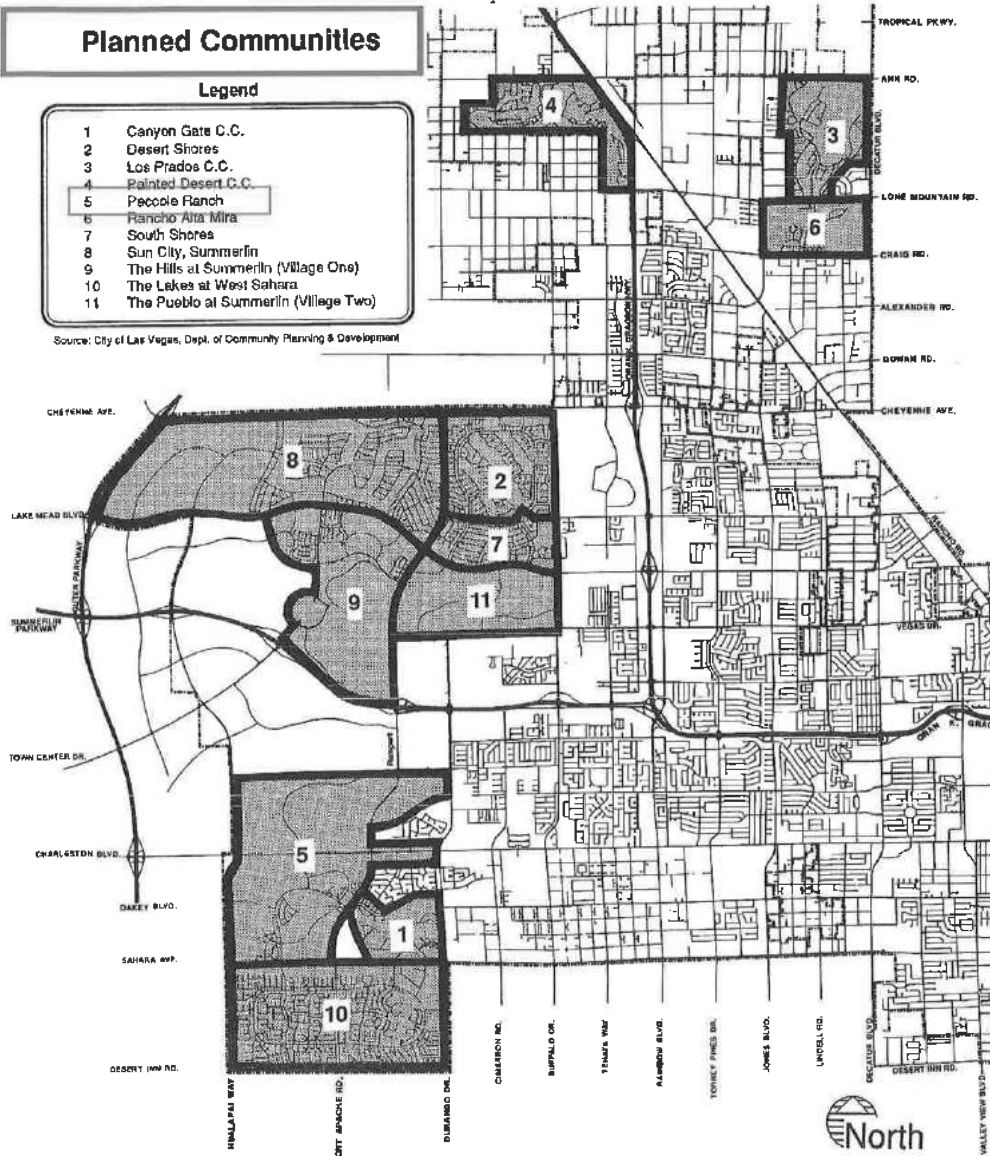
Map 4

Planned Communities

Legend

- 1 Canyon Gate C.C.
- 2 Desert Shores
- 3 Los Prados C.C.
- 4 Painted Desert C.C.
- 5 Peccole Ranch
- 6 Rancho Alta Mira
- 7 South Shores
- 8 Sun City, Summerlin
- 9 The Hills at Summerlin (Village One)
- 10 The Lakes at West Sahara
- 11 The Pueblo at Summerlin (Village Two)

Source: City of Las Vegas, Dept. of Community Planning & Development



Land Use

II-4d

ROR023662

25094

25071

EXHIBIT 8

ROR023663

25095

25072

SOUTHWEST SECTOR

The Southwest Sector of the Master Plan is located along Cheyenne Avenue to the north, portions of Rainbow and Jones Boulevard to the east, the Bruce Woodbury Beltway to the west, and the city limit boundaries to the south. Many of the city's more recently developed areas such as Summerlin and the Lakes are located within the Southwest Sector Plan. The following Master Development Plan Areas are located within the Southwest Sector:

Canyon Gate
The Lakes
South Shores
Summerlin West

Desert Shores
Peccole Ranch
Summerlin North
Sun City

Future Land Use



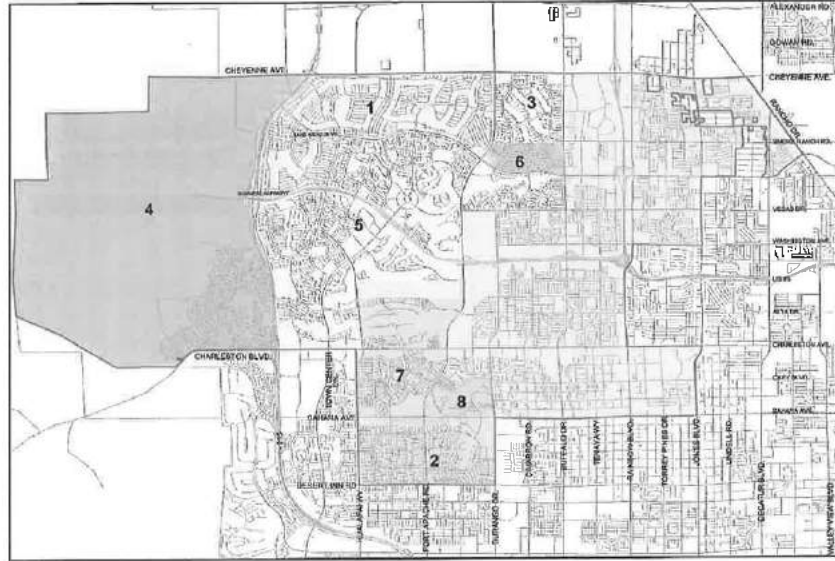
PD-0006-05-2012 RS LU_RNP

ROR023664

25096

25073

**Exhibit 4:
Southwest Sector Map**



Printed: November 18, 2008

- | | | |
|-----------------|-------------------|------------------|
| 1 Sun City | 4 Summerlin West | 7 Peccole Ranch |
| 2 The Lakes | 5 Summerlin North | 8 Canyon Gate |
| 3 Desert Shores | 6 South Shores | Southwest Sector |
| | | Freeway |

Future Land Use

PD-0006-05-2012 R5 LU_RNP



ROR023665

25097

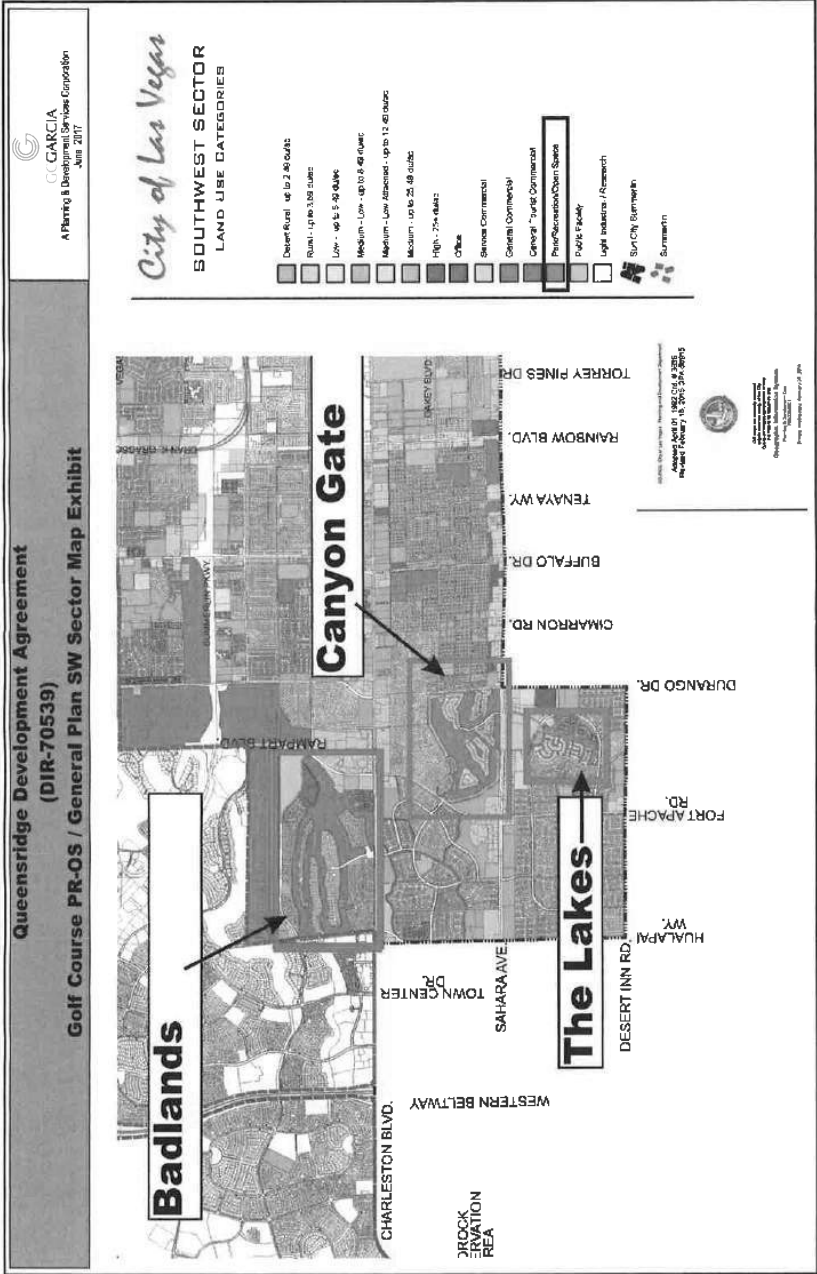
25074

EXHIBIT 9

ROR023666

25098

25075



ROR023668

25100

25077

As the literature related to the health care needs of the LGBT community grows, it is important that the health care community be able to identify and address the needs of this population. The purpose of this review is to provide a comprehensive overview of the current literature on the health care needs of the LGBT community. The review is organized into three main sections: (1) a review of the current literature on the health care needs of the LGBT community, (2) a review of the current literature on the health care needs of the LGBT community, and (3) a review of the current literature on the health care needs of the LGBT community.

[illegible]

of 3 to 5 days in order to be a representative sample of the entire population. In addition, the study should be able to identify the population of interest. For example, if the study is to be conducted in a hospital, the population of interest should be identified as the patients in the hospital. The study should also be able to identify the population of interest as the patients in the hospital. The study should also be able to identify the population of interest as the patients in the hospital.

10.1111/j.1365-3113.2011.04586.x

ANDERSON, J. W. 1993. *Field Guide to Reptiles and Amphibians*, 3rd ed. Houghton Mifflin, Boston, Massachusetts. 450 pp.

Table 5: Master Plan Land Use Designations

[illegible]

*Per 19A CMR 1.00(2), an undeveloped property may be zoned in Category I only until it is required or until such time as a proper definition is determined. If the intensity of a development within the TAD category is limited by the applicable zoning district, or the Department of Standards and Design Goals of an approved master planned development.

Table 6: Third Center Special and Like Designations

[illegible]

WATER TOWER CENTER DEVELOPMENT: The new \$90M, six-story building will house the Center's administrative offices and provide space for up to 100 jobs.

Future Land Use

July 12, 2016 - Planning Commission Meeting

* VOLUME 35, 1988 *

PROJECT DESCRIPTION

The site, which is located at the corner of two major thoroughfares, contains the northeastern portion of an existing 27-acre golf course. The applicant is proposing to redevelop a 1.46-acre portion of the golf course into a medium-density residential development. The proposed development would consist of 100 units, including 40 single-family detached units, 40 townhomes, and 20 multi-family residential units; therefore, the applicant is also requesting a General Plan Amendment to allow for multi-family residential uses; therefore, the applicant is also requesting a General Plan Amendment. Accompanying the General Plan Amendment is a request to rezone the property to increase the allowable residential density, as it is currently zoned for a maximum of 20 dwelling units per acre.

A minimum of 720 residential units are proposed, comprised of a mix of studio, one-, two- and three-bedroom units. The buildings are configured so that the residential units are wrapped around multiple parking structures that will not be visible from public right-of-way. Access to the site is provided from Rampart Boulevard, with emergency access in Alta Drive. The site also contains a 2,400 square-foot, common recreation building and outdoor pool area, along with a secondary open recreation area located near buildings 7 and 3. The property abuts down from the north and east so that the proposed buildings would have little visual impact on views. The architectural design of the buildings is comparable in style and compatible with the Parkview style of the adjacent Occidental Forest condominium development.

The site is part of the 1.669-acre Pocolo Ranch Master Plan. Pursuant to Title 1910-0900, the plan has been submitted for Modification to the 1990 Pocolo Ranch Master Plan. To expedite the review process, the applicant is requesting that the City Council approve the removal of the golf course, change the designated final use of those parcels to single family residential, and allow for additional residential units. The current General Plan Amendment, zoning and site development plan review requests are dependent on the City Council's approval of the Master Plan. The applicant and the City for development of the golf course property.

53:158L

- The proposed development requires a Major Modification (MCD-03600) of the Peconic Ranch Master Plan, specifically the Phase Two area as established by Z-0017-96.
- A General Plan Amendment is proposed from PR-OS (Parks/Recreation/Open Space) to H (High Density Residential) on the 17.49-acre site, which allows for residential densities of greater than or equal to 25.5 dwelling units per acre.

22

Staff Report Page Three

The Property is to be divided into four development areas that are characterized by land use type, zoning, density and unique standards for development. The areas are numbered southwesterly from Alta Drive.

Proposed Development Areas*					
Proposed Development Area	Area (Acres)	Proposed Land Use**	Proposed General Commercial Port	Proposed Existing Zoning	Max. Density (Houses/Acre)
1	13.29	Multi-Family Residential	H	R-4	41.2
2	20.69	Multi-Family Residential	H	R-4	1880
3	29.03	Multi-Family Residential	H	R-4	27.8
4	135.71	Single Family Residential	DR	R-4	75
TOTAL	78.71				3078

*****Proposed through the associated Major Modification of the Peccole Ranch Master Plan (NOD-03600)

[illegible]

phasing of development is indicated by Exhibit F. The actual sequence of construction, including infrastructure installation, a market-driven and not mandated to follow any numeric or alphabetical sequence as shown on the exhibit. Portions of the construction are tied to milestones based on approval for construction of a certain number of units typically measured by permits; however, no development in FEMA designated flood areas may commence unless a Major Disaster first occurs in FEMA designated flood areas (see FEMA). The

88

E. Development Impact Notice and Assessment (DINA)

1. **Background.** Pursuant to 1999 Statutes of Nevada, Chapter 481, ("Chapter 481"), a person who proposes to develop a project of significant impact is generally required to submit an impact statement to the local zoning authority before specified actions can be taken regarding the project. This Section implements the requirements associated with Chapter 481. The impact statement to be required by the City is identified as a Development Impact Notice and Assessment (DINA), and requires the information described in Chapter 481. The required information includes information regarding vehicle trips, student enrollment, sewage generation, water demand, storm water runoff, distance from public safety facilities, existing and planned capacities of service required for the project, and other anticipated effects of the project.

For the purposes of this Subsection, a project is deemed to be a "project of significant impact" if it would create:

- Tentative maps, final maps or planned unit developments of 500 units or more;
- Tourist accommodations of 300 units or more;

Project of Regional Significance. Any of the following:

- A site-specific building or development project, whether private, public or quasipublic in nature, that is proposed within one-half mile of the boundary of another municipal corporation or an unincorporated area, and that qualifies as one or more of the following:
 - A project with a tentative map including 500 lots or more;
 - A planned unit development of 500 units or more;
 - A development including tourist accommodations of 300 units or more;
 - A commercial or industrial facility that is estimated to generate more than 6250 average daily vehicle trips, as defined by the Institute of Transportation Engineers (or its successor); or
 - A nonresidential development encompassing more than 160 acres.

- A zoning map amendment or local land use plan amendment that is proposed within one-half mile of the boundary of another municipal corporation or an unincorporated area, and that qualifies as one or more of the criteria listed in Paragraphs 1(a) through 1(d) above.

ROR023672

25104

25081

GARC
Geography & Planning S. Developmental Sci.
November 2010

A Modern Plan Accounting and Master Two Reporting Application

The People's Ranch Partnership:
People's Trust
2500 West Sahara Avenue
Box 17, Suite 600
Las Vegas, Nevada 89102
(702) 735-6128

POLYGRAPH

Additional unreported investigations were based on unpublished results of a survey of 1000 patients with rheumatoid arthritis, conducted in 1982, and of a survey of 1000 patients with osteoarthritis, conducted in 1983. These surveys were designed to assess the prevalence of osteoarthritis in patients with rheumatoid arthritis, and the prevalence of rheumatoid arthritis in patients with osteoarthritis. The results of these surveys are reported in Table 1.

A land parcel of 7,000 sq ft in Ranch Park Two is the 1997 sales gift award with sales price of \$100,000. The award is given to the owner of the property who has the highest sales volume in the area. The award is given to the owner of the property who has the highest sales volume in the area. The award is given to the owner of the property who has the highest sales volume in the area.

The data presented in *Aggravated Assault* will give everyone good ideas and open their eyes to the magnitude of the problem. The authors of this book are to be commended for their efforts to bring this information to the attention of the general public. The authors of *Aggravated Assault* are to be commended for their efforts to bring this information to the attention of the general public. The authors of *Aggravated Assault* are to be commended for their efforts to bring this information to the attention of the general public.

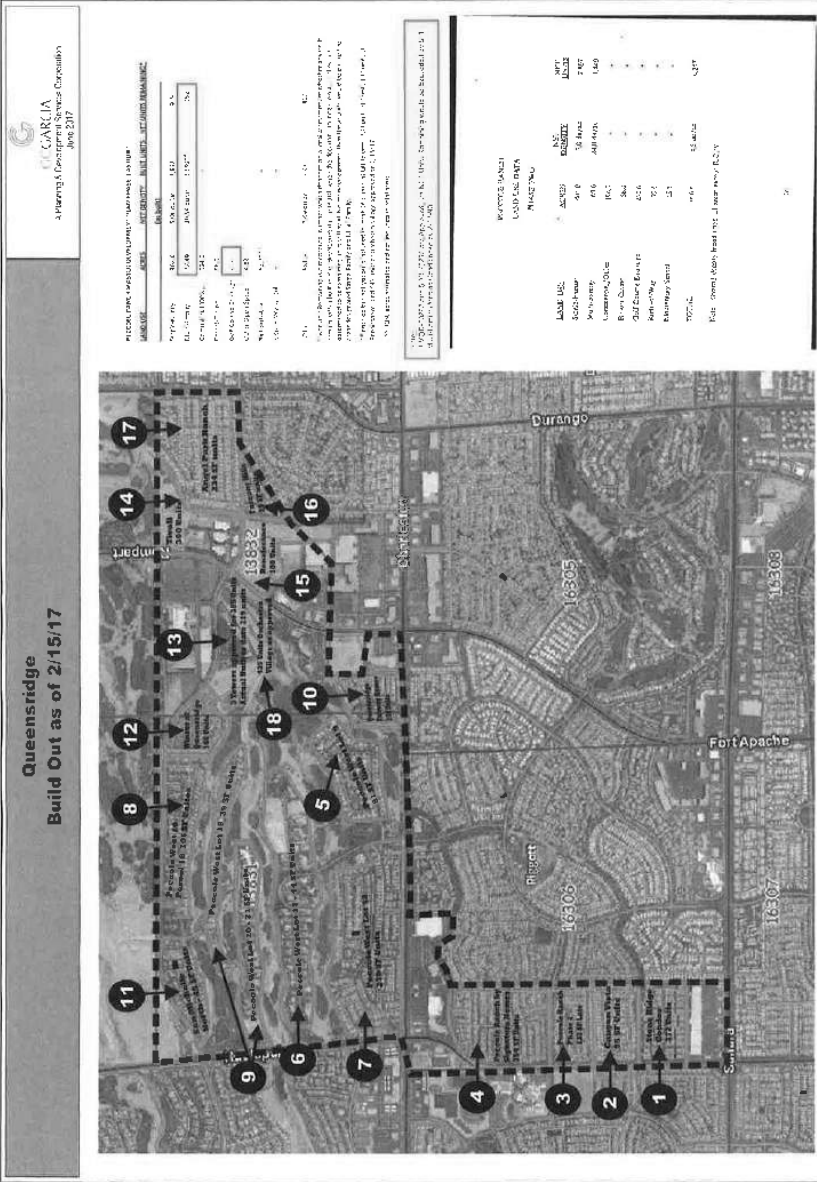
addressed across different for full coverage of the subject. The additional coverage

resulting in the adoption of innovative manufacturing.

[illegible]

W.O.24. (Source: www.wo24.com)

Queensridge
Build Out as of 2/15/17



ROR023674

25106

25083

Queensridge Design Guidelines

GARCIA
A Planning & Development Services Corporation
November 2016

SECTION 2

SITE PLANNING DESIGN CRITERIA

SECTION 2

SITE PLANNING DESIGN CRITERIA

SECTION 2

SECTION 2

SITE PLANNING DESIGN CRITERIA

SECTION 2

SECTION 2

SITE PLANNING DESIGN CRITERIA

SECTION 2

SECTION 2

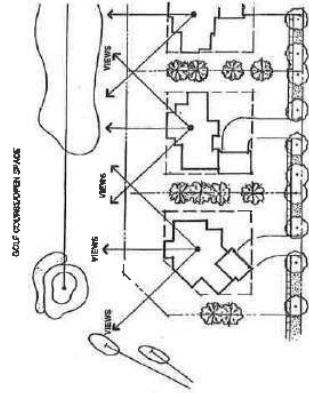
SITE PLANNING DESIGN CRITERIA

SECTION 2

SECTION 2

SITE PLANNING DESIGN CRITERIA

SECTION 2



NOTE

ORIENT LINES SPACES TO DOMINANT VIEW
ARTICULATE BUILDING FACADES AND
ORIENT LINES TO DOMINANT VIEW

SECTION 7

BUILDING ORIENTATION

SECTION 7

SECTION 2

SITE PLANNING DESIGN CRITERIA

SECTION 2

SECTION 2

SITE PLANNING DESIGN CRITERIA

SECTION 2

SECTION 2

SITE PLANNING DESIGN CRITERIA

SECTION 2

SECTION 2

SITE PLANNING DESIGN CRITERIA

SECTION 2

SECTION 2

SITE PLANNING DESIGN CRITERIA

SECTION 2

ROR023675

25107

25084

19.10.050

R-PD RESIDENTIAL PLANNED DEVELOPMENT DISTRICT

A. Intent of R-PD District

The R-PD District has been to provide for flexibility and innovation in residential development, with emphasis on enhanced residential amenities, efficient utilization of open space, the separation of pedestrian and vehicular traffic, and homogeneity of land use patterns. Historically, the R-PD District has represented an exercise of the City Council's general zoning power as set forth in NRS Chapter 278. The density allowed in the R-PD District has been reflected by a numerical designation for that district. (Example: R-PD4 allows up to four units per gross acre.) However, the types of development permitted within the R-PD District can be more consistently achieved using the standard residential districts, which provide a more predictable form of development while remaining sufficiently flexible to accommodate innovative residential development. Therefore, new development under the R-PD District is not favored and will not be available under this Code.

Las Vegas Zoning Code Chapter 19.06

C. Development Review

1. Concurrently with the submission of a rezoning application to an R-PD District, the owner shall submit a Development Review application for the proposed project.

2. Site Development Plans shall show the following information:

a. The proposed uses for the property and the dimensions and locations of all proposed lots, setbacks, heights, open space and common areas, private drives, public streets and the exterior boundaries. In addition, the layout and design of all perimeter walls, landscaping, access control gates, and guard stations shall be provided. If the development is to be constructed in phases, each phase shall be delineated on the Site Development Plan. Each set of plans shall also include floor plans and elevations of the buildings.

b. Drainage and grading information which shall consist of either a contour map or sufficient information indicating the general flow pattern or percentage of slope.

c. For any development site where 20% or more of the aggregate site has a slope of natural grade above 4%, a cross section, which must extend a minimum of 100 feet beyond the limits of the project at each property line, showing the location and finish floor elevations of adjacent structures; the maximum grade differentials; and the elevations of existing and proposed conditions.

3. The conditions, covenants and restrictions proposed for the development shall also be submitted.

Chapter 19.06

Las Vegas Zoning Code

H. Subdivision Procedure Conformance

A. Residential Planned Development shall follow the standard subdivision procedure. The tentative map shall include the public and private street design and dimension, lot design and dimension, location of driveways, buildings, walls, fences, walkways, open space areas, parking areas, drainage information, street names and location of utilities. The final map shall indicate the use, location and dimension of all proposed structures, streets, easements, driveways, walkways, parking areas, recreational facilities, open spaces and landscaped areas.

ROR023676

25108

25085



DEPARTMENT OF PLANNING

DATE:

City of Las Vegas
Department of Planning
333 North Rancho Drive
Las Vegas, NV 89106

RE: PROJECT NAME PARCEL 1@ THE 180
Tentative Map Election to Follow Alternative Procedure and Consent to Extension of Time Limit

To whom it may concern:

180 LAND COMPANY LLC BY ITS MANAGER
EHB COMPANIES LLC (Subdivider) hereby elects to follow the alternative procedure for tentative map processing set forth in LVMC 19.16.050(C)(4). In so doing, Subdivider acknowledges that this election and the City's acceptance of a tentative map application as complete shall be deemed to constitute the mutual consent of the City and Subdivider to extend the time limits set forth in NRS 278.350 for the City to act and report on a tentative map. Subdivider also acknowledges that final action on the map may not occur until final action has been taken on any related zoning application, site development plan review, or both. Subdivider has elected the alternative procedure to facilitate the ability of the tentative map to be heard concurrently with any and all associated land use entitlements.

If any question or concerns arise from this request please contact FRANK FRANKRATZ at (702) 940-6930. Thank you.
X 353

Sincerely, BY 180 LAND COMPANY LLC BY ITS MANAGER
EHB COMPANIES LLC
[Signature]
(Signature)

By: Vickie DeHaat
(Print) ITS: MANAGER



Subscribed and sworn before me

This 3 day of JANUARY, 20 17.

[Signature]
Notary Public in and for said County and State

Submitted at City Council

Date 6/21/17 Item 131-134

By: George Garcia

PRJ-67184
01/04/17

TMP-68482

ROR023677

25109

25086

FENNEMORE CRAIG
ATTORNEYS

Michael E. Buckley
mbuckley@fclaw.com

300 South Fourth Street, Suite 1400
Las Vegas, NV 89101
PH (702) 692-8006 | FX (702) 692-8088
fennemorecraig.com

June 13, 2017

DIR – 70539

180 LAND CO, LLC, ET AL DEVELOPMENT AGREEMENT

Re: Supplemental Declaration for the Adoption of Section B of the Queensridge Master
Planned Community Standards, recorded in Book 960924, Document No. 92, Official
records, Clark County, Nevada

Covers: Luxury Lots, Executive Lots and Upgrade Lots

See Exhibits 3, 18, 23, 24, 25 for Golf Course View Design Guidelines.

Submitted at City Council

Date 6/21/17 Item 131-134

By: MICHAEL BUCKLEY

MRBUCKLEY/12976289.1/041624.0001

ROR023678

25110

25087

960324.00092

02

When Recorded Mail To:
PECCOLE NEVADA CORP.
9999 W CHARLESOK BLVD
LAS VEGAS, NV 89117
96-01-12291M

CLARIFICATION

**Recorder's Memo: This document is
being rerecorded for clarification
purposes.

6/6

**SUPPLEMENTAL DECLARATION
FOR THE ADOPTION OF SECTION B OF THE
QUEENSRIDGE MASTER PLANNED COMMUNITY STANDARDS**

This Supplemental Declaration for the Adoption of Section B of the Queensridge Master Planned Community Standards (this "Supplemental Declaration") is made as of the 17th day of September, 1996 by Nevada Legacy 14, LLC, a Nevada limited liability company ("Declarant") with reference to the following facts and is as follows:

RECITALS:

A. Declarant is the Declarant under the Master Declaration of Covenants, Conditions, Restrictions and Easements for Queensridge ("Master Declaration") recorded on May 30, 1996, in the office of the County Recorder of Clark County, Nevada, in Book 960530 of official records as instrument no. 00241, re-recorded on August 30, 1996, in Book 960830, of said official records, as instrument no. 01630, and re-recorded on September 12, 1996, in Book 960917, of said official records, as instrument no. 01320.

B. Pursuant to Section 4.2.1 of the Master Declaration, Declarant hereby adopts Section B of the Master Planned Community Standards as a supplement to Exhibit "D" to the Master Declaration.

NOW THEREFORE, Declarant hereby supplements the Master Declaration as follows:

DECLARATION:

1. Declarant hereby adopts Section B of the Master Planned Community Standards which consists of 30 pages and Exhibits 1 through 29, inclusive, and is attached hereto ("MPCS Section B"). Except as otherwise expressly provided therein, MPCS Section B shall apply to the following described Residential Products:

DAVEA-2001USUPPDC/L/MC2
7/13/96

ROR023679

25111

25088

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

**MASTER PLANNED COMMUNITY STANDARDS
FOR QUEENSRIDGE
LUXURY LOTS, EXECUTIVE LOTS, AND UPGRADE LOTS**

1. Site Planning, Architecture and Landscape Overview

1.1 APPLICABILITY AND DEFINED TERMS.

The Master Planned Community Standards set forth in this Section B apply to the construction by persons other than Declarant (also sometimes referred to herein as "Master Developer") or Builders pursuant to a contract with Declarant of Improvements on those single family residential Lots which are designated in a Supplemental Declaration or Declaration of Annexation as one of the following described Residential Products:

- (1) Luxury Lots
- (2) Executive Lots
- (3) Upgrade Lots
 - (a) Neighborhood
 - (b) Golf

The provisions of this Section B shall apply to all such Residential Products unless otherwise limited by the express terms of this Section. Nothing set forth herein shall apply or in any manner affect the construction of Improvements or any other Constructive Activity of Declarant or any Builder pursuant to a contract with the Declarant. Any and all such Improvements constructed by Declarant or a Builder may be reconstructed in accordance with the original plans and specifications on file with the Declarant (modified to comply with current building codes if necessary, and, in such instances, the scope of the Design Review Committee's review shall be limited to conformance with such original plans and specifications.

Unless otherwise defined herein, all capitalized terms shall have the meanings ascribed to such terms in the Master Declaration of which this Exhibit "D" is a part.

The sketches and graphic representations contained herein are for conceptual purposes only, and are to be used as general visual aids in understanding the basic intent of the guidelines. They are not meant to depict any actual lot or building design. In an effort to encourage creativity and innovation, the guidelines express "intent" rather than "absolute", thereby allowing a certain flexibility in fulfilling the intended design goals and objectives.

ROR023681

25113

25090

960924.00092
05/12/2006

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSBIDGE
SECTION B**

1.2 SITE PLANNING

1.2.1 [INTENTIONALLY OMITTED]

1.2.2 RETAINING WALLS

Retaining walls adjacent to or visible from any street or Common Area shall not exceed three (3) feet in height. Grade changes that require retaining walls exceeding three (3) feet must be terraced with a minimum of seven (7) feet separation between each wall. Retaining walls may be combined with a Product Wall (defined below) or Village Wall (defined below) so long as the total height, as measured on the exterior side of the wall, does not exceed nine (9) feet. See Exhibit 1 of Section B (Terraced Retaining Walls) for further design information.

The maximum height of a retaining wall abutting a curb or sidewalk is 3 feet. Walls over three (3) feet high must be separated from the back of curb or sidewalk with a minimum seven (7) foot wide planting strip. This setback must be landscaped in accordance with the village streetscape design criteria in this Subsection 2.e of Section B.

Retaining walls along side lot lines shall not be over two (2) feet high within the front yard setback area and must terminate a minimum of ten (10) feet from the front property line. See Exhibit 2 of Section B (Side Yard Retaining Wall) for further design information.

All retaining walls must be waterproofed and adequately drained, if required, on the surcharge side. Waterproofing shall consist of, at a minimum, a sheet membrane waterproofing system installed per manufacturer's specifications.

1.2.3 [INTENTIONALLY OMITTED]

1.2.4 UTILITIES

All electric service, telephone, and cable television lines shall be located underground.

Entry features, walls, or landscaping shall be used to screen above ground utility appurtenances wherever possible.

Concrete pads for all utility appurtenances shall not be more than 6" above the adjoining ultimate finish grade.

ROR023682

25114

25091

960924.00092
961712.01902

EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B

1.2.5 VILLAGE WALLS

"Village Walls" means those walls or fences constructed by master Developer or a Builder which may, but are not required to be, constructed at the locations shown on Exhibit 3 of Section B.

Village Walls shall consist of either solid walls, open steel picket view fences or part solid and part picket view walls. See Exhibits 4 through 9 of Section B for further design information.

1.3 ARCHITECTURE

1.3.1 [INTENTIONALLY OMITTED]

1.3.2 [INTENTIONALLY OMITTED]

1.3.3 [INTENTIONALLY OMITTED]

1.3.4 [INTENTIONALLY OMITTED]

1.3.5 SINGLE FAMILY BUILDING FACADE

The three dimensional success of a building and its site elements is a result of the careful treatment of building mass, proportion and scale, articulated by a variation in texture, materials, and color treatment. In general, large building masses should be avoided because of the resulting scale which would be out of balance in achieving a desirable relationship to the pedestrian streetscene. Structures which require greater amounts of space, should have vertical and horizontal offsets to break up the building mass and create a more desirable scale and visual interest to the dwelling. The interplay of shade and shadow, along with texture and openings in large building surfaces provides interest, balance, and human scale to the dwelling. In addition, the use of porches and balconies, window and entry treatments further emphasize building articulation. Together, each of these elements serve to encourage a "friendlier" relationship and scale to the streetscene.

Building Massing and Scale

Residences are limited to two stories in height; however, a predominant one story character is preferred and strongly encouraged. The exterior design of the residences shall incorporate quality elements of design including balance, depth, repetition and contrast with special attention

QUEENSRIDGE 0-09846200100-03.02.7
LUXURY, EXECUTIVE, AND UPGRADE LOT DESIGN GUIDELINES 6-3
SEPTEMBER 4, 1996

ROR023683

25115

25092

960924.00092
25112-51552

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSBIDGE
SECTION B**

to shade and shadows. Roof lines should create interest while relating to adjacent residences. Single-story elements shall be provided to the extent possible at the perimeter of the residences with any two-story elements set back towards the center of the home, particularly for those elevations along neighborhood streets or community open space.

Two-story wall surfaces are discouraged. Where possible, single story elements should be provided at the exterior walls of the residence. The flat appearance of two-story walls may also be broken up through the use of balconies, terraces and other projections, or by the use of tall or stacked window elements.

Homes with side or rear elevations facing open space, golf course, community streets, or adjacent parcels shall feature architectural detailing which is equivalent to that of the front elevation.

Materials and Colors

Traditional building materials such as stucco, brick and stone in light hues for the base color and darker colors used for accent elements such as shutters, and railings, etc., shall be used. Please refer to Section B, subsection 2 for further information regarding material and color selections in single family neighborhoods.

1.3.6 SINGLE FAMILY ROOFS

Roofs are a significant component in the overall appearance of a building, and careful consideration must be undertaken to ensure that the design and scale of the roof is compatible with the architectural style of the dwelling and surrounding neighborhood. Roofs should be simple shapes without overly complex joining. Predominantly moderate to steeply pitched hip, gable or dutch gable roofs characterized by projections, dormers, and roof ridge jogs are encouraged. Roof articulation should strive to establish a relationship not only to the human scale, but to the scale of its surrounding context.

1.3.7 SINGLE FAMILY ARCHITECTURAL FEATURES & ACCENTS

The use of architectural features and accents is encouraged to create interest on building facades. Careful placement and treatment of accent windows, for example, not only reduces the scale of the building, but adds character to the elevations. Stairways and columns should be carefully integrated into the design of the building. Accent colors and material treatments should complement the primary building color. Extreme contrasts in style, material and/or color should be avoided.

Porches

ROR023684

25116

25093

960924.00092

EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B

Front porches provide a sense of intimacy to the neighborhood streetscene and are encouraged.

Courtyard Walls and Fences

The use of courtyards is encouraged to enhance the architectural character of the residence. Courtyard walls and fencing should complement the adjacent finish and architectural character of the residence. Plant materials should be used to visually soften courtyard walls and fences. Please refer to Table B and Exhibit 17 of Section B for courtyard setback criteria.

Trellis and Arbors

Trellises and arbors enhance nearly all architectural styles. They must be designed to maintain their appearance in the desert climate and detailed with blocking and metal fasteners to minimize twisting of wood members.

Sun Decks & Balconies

Front or rear sun decks or balconies are encouraged. Sun decks may be located on the first or second floors, as well as on roof tops. Roof top sun decks, when used, shall be designed as an integral component of the architecture of the residence. Balusters or guardrails shall complement the architecture of the residence.

Window and Door Openings

Window and door openings are required to feature articulation and detailing as further described in Section 2.

Garage Doors

In order to avoid the impact of garage doors, garage doors must be appropriately treated with decorative relief cuts, panels, small decorative windows, etc. In addition, the face of garage doors shall be inset a minimum of twelve (12) inches from the adjacent wall surface.

Detached garages, if provided, must feature a similar roof treatment to the house it serves. In addition, they must provide a visual break from the remainder of the house through the use of such elements as a minimum four (4) feet offset, a minimum six (6) feet roof break, or a minimum ten (10) feet landscape separation.

Columns and Archways

ROR023685

25117

25094

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSBIDGE
SECTION B**

The use of columns and archways add articulation to the character of the residence and are encouraged where appropriate to the architectural style. Columns and archways should be scaled appropriately to provide a sense of strength and support which is compatible with the architectural style of the building. Attention to detail should be given with special attention to ornamentation.

Mailboxes

Individual, grouped or ganged mailboxes shall utilize mailbox designs approved by the U.S. Postal Service and shall meet federal accessibility design standards. Grouped or gang mailboxes shall incorporate the architectural theme of the project. Please refer to Section 1.4.6 for additional information.

Security Bars on Windows; Security Gates

Security bars on windows are prohibited as set forth in the Master Declaration. Ornamental gates which are compatible with the design theme of the neighborhood are allowed subject to prior approval by the Design Review Committee.

Satellite Dishes

Satellite dishes, when used, are limited to those which are designed to be concealed in patio umbrellas, having a maximum diameter of 20 inches.

Mechanical Equipment Screening

Mechanical equipment such as air conditioner, heaters, evaporative cooler, television and radio antennas, satellite and radar receivers and other such devices shall not be permitted on any roof. Mechanical devices such as exhaust fans, vents and pipes shall be painted to match adjacent roof surfaces.

Subject to the provisions of NRS 276.0208, the use of solar panels, hot water storage systems, or other similar devices shall not be visible from any street or Common Area.

ROR023686

25118

25095

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

1.4 LANDSCAPE

1.4.1 LANDSCAPE CONCEPT

The landscape treatment of streets, open space and individual yards is a key element of the overall community image. This image will be enhanced through a "garden" style approach to the landscape program. The plant palette will consist of a variety of deciduous and evergreen plant materials for variety in color, texture, and the broad opportunity for design theming. Landscape elements will feature the use of stone, brick and other textured materials for a traditional look. Please refer to Exhibit 7 which depicts the landscape "vision" for Queensridge.

1.4.2 [INTENTIONALLY OMITTED]

1.4.3 [INTENTIONALLY OMITTED]

1.4.4 [INTENTIONALLY OMITTED]

1.4.5 PRODUCT WALLS

Side and rear property line walls or fences which are not Village Walls (herein "Product Walls") will be allowed only to the extent necessary to provide privacy and security to neighborhoods and residences within the community. Wall treatments viewed from public spaces shall be consistent in treatment with the existing fences or walls and adjacent buildings. Building materials such as masonry, stucco and square tubular steel are the standard materials for perimeter fencing. Complementary accent materials for wall caps and wall trim are encouraged. The use of precast concrete and stone are permitted as design accents and trim. Pilasters will not be incorporated into property line fencing. Exterior plaster or stucco will have a smooth, sand, or other light finish texture to match adjacent architecture styles. Heavy textures such as Spanish lace, swirl or heavy trowel are prohibited.

Wall Detail Exhibits 4 through 9 of Section B describe specific wall treatments for typical lot conditions.

1.4.6 MAILBOXES

Mailbox pedestals should be designed to incorporate various design detail elements seen on the Queensridge entry and adjacent architecture. Mailbox pedestal materials shall be compatible

ROR023687

25119

25096

**EXHIBIT "D" TO MASTER DECLARATION OF
 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
 SECTION B**

with and reflect the elements of the surrounding environment. This includes materials such as masonry, concrete, stucco, stone, tile and tubular steel.

It is preferable that each individual Lot have its own mail box unless otherwise required by the Postmaster. In the event that individual mailboxes are not feasible or functional, the mailboxes may be grouped together (group clusters not to exceed 4 mailboxes per group). Cluster mailbox detail is to be constructed out of cast iron, steel or aluminum with decorative tubular steel to match the street light and street signage metal work that will include but not be limited to the metal/filigree base, pole and arm detail.

1.4.7 LANDSCAPE LIGHTING STANDARDS

Lighting fixtures should be attractively designed to complement the architecture and theme of the project site and adjacent buildings.

Walkway lighting fixtures shall be per landscape uplighting/backlighting standard. Lighting fixtures are not to project above the fascia or roof line of the building. All exterior lighting shall be shielded so as not to intrude on adjacent properties. Shields for security lighting, if provided, shall be painted to match the surface to which the light is affixed. Security lighting fixtures are not to be substituted for parking lot or walkway fixtures, and are restricted to lighting only loading and storage locations, or other similar areas.

Landscape Uplighting/Backlighting

Landscape uplighting is used to enhance the plant materials at recreation areas, entrances and other focal areas. Uplighting/backlighting within individual Lots can be used in areas where one desires to see the effect of the lights and not the source. Uplighting enhances a landscaped area with effects ranging from dramatic to enchanting. It can sharply project the shadows of large trees onto walls, silhouette the interior structure of unusual plants or softly frame a panoramic view.

Landscape lighting utilizing a low voltage system is cost effective and energy efficient. However, standard line voltage lighting system may be used as long as the profiles of the fixtures resemble those specified. See Exhibit 10 of Section B for Landscape Lighting Zones.

ROR023688

25120

25097

960924.00092

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

**TABLE A
STANDARDS OF LANDSCAPE LIGHTING FIXTURES**

Fixture	Description	Recommended Spacing
Street Light	Pole light - double arm Must maintain Queensridge entry theme - obtain specifications from Peccole Nevada Corporation 9999 W. Charleston Blvd. Las Vegas, NV 89117	100' O.C. $\pm$ approx. Located on property line on sidewalk side of street. 100 watt HPS lamp.
Path Light	Enhance groundcover as well as providing safety lighting.	Per city standards for safety
Uplight	Above-ground uplights are used in shrub planting areas to illuminate trees and other landscape focal elements.	As required by landscape design
Recessed Uplight	Recessed in-ground uplights are used in turf/lawn areas to illuminate trees and other landscape focal elements.	As required by landscape design
Signage Light	Illumination of walls and signs. Available in line-voltage only.	Per manufacturer's specifications
Step Light	Flush-mount step lights to provide safety lighting.	Space every other step

NOTE:

All lighting fixtures should be either powder coated or factory painted green, verde green, bronze, brown or black finish, except for path light fixture - solid bronze finish. Should the Owner choose to use an alternate finish not listed in these Master-Planned Community Standards, detailed specifications can be submitted to the Design Review Committee for consideration and approval.

1.4.8 PLANT PALETTE/REQUIREMENTS

Each of the Lots contains the "Streetscape Zone" and its associated "Front Yard Zone" that will be landscaped by the Builder. In addition, each lot has "Side and Rear Yard Landscape Zones" that will require landscaping as well by the Lot Owner. Planting in all these zones should be

QUEENSRIDGE 04/98/463001/180-0102.7
LUXURY, EXECUTIVE, AND UPGRADE LOT DESIGN GUIDELINES B-9
SEPTEMBER 4, 1996

ROR023689

25121

25098

960924.00092
9-12-96

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

designed to create a cohesive environment that complements the Queensridge character. Any replanting of dead or diseased plants, shrubs or trees shall be substantially similar to the original plantings.

Great care should be taken to selectively choose plant material that will acclimate to the harsh climate extremes when preparing a landscape design for the Las Vegas area.

The following plant palettes should be used in the landscaping of each lot.

Streetscape Planting:

Trees:

Each Builder is required to install street trees in a 7'-0" streetscape zone (7'-0" width to occur at back of curb or back of sidewalk). The street tree species will be a 15 gallon (minimum) Fraxinus Velutina - Modesto Ash planted at 20'-0" on center which averages out to be 2.5 trees per lot. Each Builder is required to install a minimum 24" deep root barrier along any curb or walk edge that is adjacent to any tree trunk. Also, each Builder is required to install root barrier per manufacturer's specifications.

In addition, each Builder is required as a minimum to install turf within the 7'-0" streetscape zone and to irrigate the trees and turf.

No existing tree or other planting in the Streetscape Zone or the Front Yard Zone shall be moved or relocated by a Lot Owner.

Shrubs:

The Builder has the option of enhancing each Lot's Streetscape Zone by utilizing any of the following shrubs within the 7'-0" wide area.

<u>Botanical Name</u>	<u>Common Name</u>
Large:	
Arbutus unedo 'Compacta'	Dwarf Strawberry Tree
Juniperus chinensis 'torulosa'	Hollywood Juniper
Ligustrum japonicum 'texanum'	N.C.N.
Prunus caroliniana	Carolina Laurel Cherry
Xylosma congestum	Shiny Xylosma
Yucca pendula 'gloriosa'	Spanish Dagger
Yucca portulaca	N.C.N.

ROR023690

25122

25099

EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSBIDGE
SECTION B

Medium:

Cotoneaster 'lowfast'	N.C.N.
Odonaea viscosa	Hopsed Bush
Euonymus japonica	Japanese Euonymous
Euonymus japonica 'silver queen'	Japanese Euonymous 'silver queen'
Approved Euonymous species	
Ilex vomitoria 'nana'	Yaupon
Juniperus chinensis 'procumbens' nana	
Approved Juniper species	N.C.N.
Nandina domestica	Heavenly Bamboo
Nerium oleander 'petite pink'	Dwarf Oleander
Photinia fraseri	Chinese Photinia
Pittosporum undulatum	Victorian Box
Approved Pittosporum species	
Punica granatum 'chico'	Dwarf Carnation Flowered Pomegranate
Approved Pyracantha species	
Raphiolepis indica 'clara'	White Indian Hawthorn
Raphiolepis indica 'springtime'	Indian Hawthorn
Tecoma capensis	Cape Honeysuckle
Approved Viburnum species	
Xylosma congestum 'compacta'	Shiny Xylosma

Small:

Dietes vegeta	Fortnight Lily
Hemerocallis fulva	Daylily
Juniperus chinensis 'gold coast'	N.C.N.
Approved Juniper species	
Myrtus communis 'compacta'	Compact True Myrtle
Pittosporum tobira 'variegata'	Mock Orange
Pittosporum tobira 'wheelers dwarf'	Dwarf Tobira
Approved Pittosporum species	
Xylosma congestum 'compacta'	Dwarf Xylosma

Vines & Espaliers:

Botanical Name	Common Name
Lonicera japonica 'halliana'	Hall's Japanese Honeysuckle
Macladyena unguis-cati	Cat's Claw
Photinia fraseri esp.	Japanese Photinia
Pyracantha coccinea esp.	Firethorn
Rosa banksiae	Lady Banks Rose

ROR023691

25123

25100

960924.00092
7/12/12-01302

**EXHIBIT "D" To MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSBIDGE
SECTION B**

Ground Cover:

<u>Botanical Name</u>	<u>Common Name</u>
Apetinia species	
Baccharis centennial	Coyote bush
Pachysandra terminalis	Japanese Spurge (shade only)
Rosmarinus cultivars	
Santolina chamaecyparissus	Lavender Cotton
Viola species	
Decorative Bark Mulch	
Cobble	
Decomposed Granite	

Turf:

Marathon Tall Fescue Blend
Dwarf Marathon (low water turf grass)
Medallion Tall Fescue Blend

Front / Side / Rear Yard Planting Zone Palette:

Trees:

Each dwelling should be enhanced with trees, ground cover and shrubs. Like-tree massing is encouraged in the landscape design. Trees should be used in groups rather than individually unless the tree is being used as an accent tree.

<u>Botanical Name</u>	<u>Common Name</u>
Cupressus sempervirens	Italian Cypress
Fraxinus velutina	Modesto Ash
Gleditzia triacanthos	Honey Locust
Koelreuteria bipinnata	Chinese Flame Tree
Lagerstroemia indica varieties	Crape Myrtle
Ligustrum lucidum	Glossy Privet
Ligustrum japonica	Japanese Privet
Malus Species "Linden"	Linden Crabapple
Pinus eldatica	Mondell Pine/Afghan Pine
Pinus halepensis	Alapco Pine
Pinus pinea	Italian Stone Pine (large growing)
Pinus roxburgii	Indian Longleaf Pine
Pistache chinensis	Chinese Pistache

QUEENSBIDGE

04108457001102-0108.7

LUCKY, EXECUTIVE, AND UPGRADE LEFT DESIGN GUIDELINES
SEPTEMBER 4, 1995

B-12

ROR023692

25124

25101

960924.00092
 9/12/01
 9/12/01

EXHIBIT "D" TO MASTER DECLARATION OF
 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSBIDGE
 SECTION B

Prunus cerasifera	Purple Leaf Plum
Approved Prunus species	Flowering Plums
Quercus virginiana	Southern Live Oak
Robinia pseudacacia	Black Locust
Ulmus parvifolia	Evergreen Elm
Shrub:	
<u>Botanical Name</u>	<u>Common Name</u>
Large:	
Arbutus unedo 'Compacta'	Dwarf Strawberry Tree
Juniperus chinensis 'torulosa'	Hollywood Juniper
Ligustrum japonicum 'texanum'	N.C.N.
Prunus caroliniana	Carolina Laurel Cherry
Xylocma congestum	Shiny Xylocma
Yucca pendula 'gloriosa'	Spanish Dagger
Yucca pendula	N.C.N.
Medium:	
Cotoneaster 'rowfast'	N.C.N.
Dodonea viscosa	Mopsed Bush
Euonymus japonica	Japanese Euonymus
Euonymus japonica 'silver queen'	Japanese Euonymus 'silver queen'
Approved Euonymus species	
Ilex vomitoria 'nana'	Yaupon
Juniperus chinensis 'procumbens' nana	
Approved Juniper species	N.C.N.
Nandina domestica	Heavenly Bamboo
Nerium oleander 'petite pink'	Dwarf Oleander
Photinia fraseri	Chinese Photinia
Pittosporum undulatum	Victorian Box
Approved Pittosporum species	
Punica granatum 'chico'	Dwarf Carnation Flowered Pomegranate
Approved Pyracantha species	
Raphinolepis indica 'clara'	White Indian Hawthorn
Raphinolepis indica 'springtime'	Indian Hawthorn
Tecomaria capensis	Cape Honeysuckle
Approved Viburnum species	
Xylocma congestum 'compacta'	Shiny Xylocma

ROR023693

25125

25102

960924.00092
 96.12.12.01602

**EXHIBIT "D" TO MASTER DECLARATION OF
 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSBIDGE
 SECTION B**

Small:

<i>Diets vegeta</i>	Fortnight Lily
<i>Hemerocallis fulva</i>	Daylily
<i>Juniperus chinensis 'gold coast'</i>	N.C.N.
Approved Juniper species	
<i>Myrtus communis 'compacta'</i>	Compact True Myrtle
<i>Pittosporum tobira 'variegata'</i>	Mock Orange
<i>Pittosporum tobira 'wheeler's dwarf'</i>	Dwarf Tobira
Approved Pittosporum species	
<i>Xylosma congestum 'compacta'</i>	Dwarf Xylosma

Vines & Espollers:

<u>Botanical Name</u>	<u>Common Name</u>
<i>Lonicera japonica 'halliana'</i>	Hall's Japanese Honeysuckle
<i>Mactadyena unguis-cati</i>	Cat's Claw
<i>Photinia fraseri esp.</i>	Japanese Photinia
<i>Pyracantha coccinea esp.</i>	Firethorn
<i>Rosa banksiae</i>	Lady Banks Rose

Ground Cover:

<u>Botanical Name</u>	<u>Common Name</u>
<i>Apetinia species</i>	
<i>Baccharis centennial</i>	Coyote bush
<i>Lantana species</i>	
<i>Pachysandra terminalis</i>	Japanese Spurge (shade only)
<i>Rosmarinus cultivars</i>	
<i>Santolina chamaecyparissus</i>	Lavender Cotton
<i>Vinca species</i>	
Decorative Bark Mulch	
Cobbles	
Decomposed Granite	

Turf:

Marathon Tall Fescue Blend
 Dwarf Marathon (low water turf grass)
 Medallion Tall Fescue Blend

Native Slope Palette: Each Builder is required to install and irrigate slope landscaping that occurs from the rear yard Lot line to the Builder-installed tubular steel view fence located at bottom of slope. A Builder may choose one species or create a landscape design utilizing a few of the following species to create a cohesive native slope

QUEENSBIDGE
 LUXURY, EXECUTIVE, AND UPGRADE LOT DESIGN GUIDELINES
 SEPTEMBER 4, 1996

04/08/67001/00-0105.7
 B-14

ROR023694

25126

25103

960924.00092
961212.01662

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

landscape. Each Owner is responsible for maintenance of all sloped landscaped areas including the replacement of dead or diseased plants.

Native Shrubs:

Acacia redolens
Cassia species
Convolvulus species
Larocophyllum frutescens 'hybrid' species
Rosmarinus species
Ruella species

1.4.9 PLANTING DETAILS

The following details and information are intended to maintain a minimum standard installation of planting suitable to the Queensridge Community.

All trees, unless otherwise specifically noted in these Builder Design Guidelines, planted within 6'-0" of any hardscape or structure should be installed with a 36" deep (24" as a minimum) linear root barrier to minimize any lifting and/or cracking of hardscape areas and structures.

Minimum installation requirements are as follows:

Install linear root barrier continuous along the hardscape or structure edge. Root barrier to parallel along the gallon/box size and curve extension a minimum of 24 inches past the gallon/box size.

All trees planted in turf areas should be planted with arbor guards to protect the tree trunk from turf edges.

To facilitate proper plant growth, a soil test and soil percolation test are highly recommended in order to provide proper soil amendments and proper soil drainage.

1.4.10 INSTALLATION

All irrigation and planting installation shall be undertaken by competent personnel licensed to perform such work under a Nevada State contractor's license.

ROR023695

25127

25104

960924.00092
2012.0100

EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B

Planting Standards:

- A. The planting should be designed to create, in time, a cohesive unified exterior environment to further complement the Queensridge development. Plant material should relate to the scale and character of the improvements.
- B. A simple palette of plant material serves to enhance an area. A recommended palette has been developed as a guide in the previous sections.
- C. Trees and shrubs should provide the principal visual enhancement, with herbaceous and quick growing plants representing only a small quantity of the plant palette.
- D. The recommended shrub type and vine ground covers should be placed so they completely cover the soil when mature.
- E. Close attention should be given to the use of plant materials so they create a livable environment for people. Plants may be used to provide screening; define three dimensional spaces; control erosion, glare, noise, dust and climate; aesthetics; accentuating landforms; and defining circulation patterns.
- F. The planting design must be tailored to the type of irrigation system and operation proposed by the designer. An arrangement of plants with different moisture requirement should be avoided.
- G. Installation of the plant materials should be accomplished in a manner that reduces potential maintenance problems.
- H. Additional plant materials other than those listed in the planting palettes may be used only upon approval of a majority of the Design Review Committee.
- I. Vines should be permanently secured to vertical building surfaces and fences - except at major trellis structures designed as an integral part of the architecture. Vines should be spaced so as to completely cover walls when mature.

See Exhibits 11 through 15 of Section B for Planting Details.

ROR023696

25128

25105

960924-00092
JUL 12 2000

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

1.4.11 IRRIGATION STANDARDS

- A. All irrigation systems will comply with the water usage requirements specified by the Clark County Comprehensive Planning Design Manual as well as the City of Las Vegas and State of Nevada requirements and designed by a landscape architect licensed in Nevada to ensure efficient water management and control for plant material.
- B. When selecting sprinkler heads, spacing, valving and programming controller, design should consider varying environmental conditions or orientation such as: temperature extremes, sun and shade, soils, terrain, percolation rates, moisture sensing, erosion control and wind.
- C. All landscaped areas must have an automatic irrigation system. Systems should utilize "state-of-the-art" equipment by brand name manufacturers. The use of automatic sprinkler controls offers flexibility and efficient irrigation. It is recommended that the new "state-of-art" drip irrigation systems be designed for use in shrub/groundcover areas. The drip system is both cost effective as well as highly efficient.
- D. The construction drawings must indicate, by detailed graphic representation, the method of installing each type of sprinkler equipment and material used.
- E. Irrigation system design should provide for the equipment manufacturer's guarantee of achieving a uniform precipitation rate.
- F. Irrigation water will not be permitted to over spray onto adjacent properties.

2. DETAILED DESIGN CRITERIA SINGLE FAMILY DEVELOPMENT

- 2.1 [INTENTIONALLY OMITTED]
- 2.2 RESIDENCE SIZE; SETBACKS
 - 2.2.1 [INTENTIONALLY OMITTED]
 - 2.2.2 [INTENTIONALLY OMITTED]
 - 2.2.3 PRODUCT SETBACKS AND MASSING

ROR023697

25129

25106

960924.00092

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

*** TABLE B - DEVELOPMENT STANDARDS MATRIX**

CRITERIA	UPGRADE (NEIGHBORHOOD)	UPGRADE (CORP)	EXECUTIVE	LUXURY
TYP. LOT SIZE	8,400 S.F.	7,475 S.F.	9,150 S.F.	10,400 S.F.
TYP. LOT DIMENSIONS	60' x 100'	65' x 115'	70' x 125'	80' x 130'
PRODUCT WIDTH	*	*	*	*
MINIMUM SETBACKS				
FRONT	*	*	*	*
REAR	*	*	*	*
SIDE	*	*	*	*
CORNER SIDE	*	*	*	*
PORTE COCHERE	Not Permitted	Not Permitted	Not Permitted	Not Permitted
FRONT ENTRY GARAGE ¹	*	*	*	*
SIDE ENTRY GARAGE	*	*	*	*
PATIO COVERS/ 2ND STORY DECKS	*	*	*	*
COURTYARD WALL ²	*	*	*	*
ACC. STRUCTURES	Not Permitted	Not Permitted	Not Permitted	Not Permitted
MINIMUM FLOOR AREA	1,500 S.F.	2,400 S.F.	2,500 S.F.	3,000 S.F.
MAX. 2nd FLOOR AREA (as a % of the 1st floor area, including garage)	70%	70%	70%	60%

TABLE B - FOOTNOTES

- * INDICATES THAT THESE ITEMS ARE TO BE DETERMINED BY THE DESIGN REVIEW COMMITTEE CONSISTENT WITH EXISTING IMPROVEMENTS IN THE NEIGHBORHOOD AND THIS SECTION B.
- ¹ SEE EXHIBIT 16 FOR SETBACK CRITERIA.
- ² PRODUCT FRONT YARD OR COURTYARD WALLS SHALL NOT EXCEED 7' 6" IN HEIGHT.

ROR023698

25130

25107

960924.00092
STATE-01662

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSBIDGE
SECTION B**

Corner Lots

Two story homes on corner Lots must conform to the following criteria:

- The side elevation must feature the same level of detail as the front elevation in terms of doors and window detailing, deep recesses, pop-outs, and other architectural detailing.
- The side yard setback shall be a minimum of 20' from the back of sidewalk.

This requirement may be waived if the houses incorporate substantial jogs or offsets within the front elevation and are plotted to provide large open areas between units.

2.2.4 PRODUCT WALLS

Product Walls

Product Walls shall conform to the following guidelines: Side yard or rear yard Product Walls adjacent to residential streets shall be set back a minimum of five (5) feet from the back of curb or back of sidewalk, whichever is greater. The setback shall be landscaped in conformance with the streetscape criteria in Section 2.4. On corner lots, Product Walls shall terminate a minimum of four (4) feet back from the front facade of the dwelling unit and tie back into the residential structure. Product Walls which are front yard or courtyard walls shall not exceed two feet six inches (2'-6") in height and may encroach no more than five (5) feet into the front yard setback. Refer to Exhibit 17 of Section B for detailed information.

In order to maximize the cone of vision from rear yards into the community open space, the view fencing along the Common Areas and golf course should retain a minimum of fifteen (15) feet along the side property line of the Lot. Refer to Exhibits 3, 6 and 18 of Section B for detailed information.

Where a Product Wall is visible from any street or Common Area or golf course it shall have a masonry finish which is compatible with the product architecture and painted a color which is compatible with the architecture of the neighborhood. Product wall height shall not exceed six (6) feet. If additional height for retaining or other purposes is required, walls shall be terraced with a minimum seven (7) foot separation between walls.

Product Wall to Village Wall Connections

ROR023699

25131

25108

960924.00092

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

Where a Product Wall meets a Village Wall, the product wall must meet the elevation of the Village Wall at the point of connection. Such elevation shall also be held for at least four (4) feet back from the Village Wall before stepping. The maximum step is eight (8) inches, with a minimum thirty-two (32) inches (two courses) horizontal before the next step.

Product Wall to Product Wall Connections

Where two Product Walls meet at adjoining Lots, exteriors of connecting walls shall be made to match in color, finish, height and location of the existing walls.

Retaining Walls

Refer to Section 1.2.2 for retaining wall design guidelines.

Acceptable Materials

Painted stucco on concrete block, textured finish concrete block, split face masonry and painted wrought iron are examples of acceptable wall materials.

Prohibited Materials

Unfinished slump block, standard gray concrete block, and wood or chain link fences are prohibited materials for Product Walls.

2.2.5 [INTENTIONALLY OMITTED]

2.2.6 [INTENTIONALLY OMITTED]

2.2.7 DRIVEWAYS

Driveway Length and Width for Front Loaded Garages

Driveway lengths shall be a minimum of twenty-five (25) feet from the back of curb or back of sidewalk (whichever is greater) to the face of the garage door. Refer to Exhibit 19 of Section B for detailed information.

The maximum width of monolithic paving for driveways shall not exceed eighteen (18) feet. Driveways which are greater than eighteen (18) feet in width shall provide enhanced paving materials (stamped concrete, pre-cast concrete pavers, brick, etc.) at a two (2) foot minimum

ROR023700

25132

25109

960924.00092
9-11-2196

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

width, or shall provide landscape areas at a minimum width of four (4) feet for all areas in excess of the eighteen (18) feet maximum width.

Driveway Length and Width for Side-Loaded Garages

The maximum width of the driveway at the street for side-loaded garages shall not exceed sixteen (16) feet. The distance from the face of the garage door to the side yard lot line must be a minimum of twenty-eight (28) feet with twenty-four (24) feet of pavement and four (4) feet of landscape).

Please refer to Exhibit 20 of Section B for detailed information.

2.2.8 [INTENTIONALLY OMITTED]

2.3 ARCHITECTURE

2.3.1 ARCHITECTURAL CONCEPT (LOTS 9, 12A, 12B and 12C)

Subject to the limitations set forth in Section 1.1 of this Section B, the architectural design criteria set forth in this Section 2.3 apply to the construction of residences on Lots within the following described property:

All Lots within Lots 9, 12A, 12B or 12C as shown on maps of Peccole West now or hereafter Recorded.

2.3.2 [INTENTIONALLY OMITTED]

2.3.3 SINGLE FAMILY DESIGN

The architecture of a residential dwelling unit can be broken down into three major components, including 1) Building Facades, 2) Roofs, and 3) Architectural Features & Accents. The proper design treatment of these three components will result in a visually pleasing house and neighborhood environment throughout Queensridge. The following is a general description of how each of these components should be addressed relating to the European architectural styles.

ROR023701

25133

25110

960924.00092
01.11.2002

EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSBIDGE
SECTION B

2.3.4 BUILDING FACADES

The three dimensional success of a building and its site elements is a result of the careful treatment of building mass, proportion and scale, articulated by a variation in texture, materials, and color treatment. Refer to Exhibit 26 of Section B for a depiction of appropriate single family building forms. In general, large building masses should be avoided because of the resulting scale which would be out of balance in achieving a desirable relationship to the pedestrian streetscene. Structures which require greater amounts of space, should have vertical and horizontal offsets to break up the building mass and create a more desirable scale and visual interest to the dwelling. The interplay of shade and shadow, along with texture and openings in large building surfaces provides interest, balance, and human scale to the dwelling. In addition, the use of porches and balconies, window and entry treatments further emphasize building articulation. Together, each of these elements serve to encourage a "friendlier" relationship and scale to the streetscene.

Building Massing and Scale

The broad range of European styles (French Country, Normandy, English, and Italian) result in a great variety of building forms, however, all are characterized by a moderate to steeply pitched roof.

The European style features an informal design quality inspired by the rambling European farmhouses in which a relaxed character is achieved through the use of a combination of building forms in an asymmetrical arrangement.

Rounded tower elements are commonly used within the overall building form, usually to announce the front entry.

No more than three adjacent dwellings and two facing dwelling units along a street may have the same architectural elevation.

Homes with side or rear elevations facing open space, golf course, community streets, or adjacent parcels shall feature architectural detailing which is equivalent to that of the front elevation.

ROR023702

25134

25111

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

Building Materials and Color

All surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials shall wrap columns, porches, or balconies in their entirety.

Material changes should occur at inside corners. Materials applied to any elevation shall turn the outside corner of the building a minimum of two (2) feet before terminating.

At raised footing conditions, siding materials shall be continued down to within six (6) inches of finished grade.

Builders are required to use color to reinforce the characteristics of the architectural style. The base color of the house is generally a light hue with a darker accent color used for detail elements such as doors and shutters. Three or more color schemes per neighborhood are required to enhance the streetscape.

An acceptable range of base colors for the primary surfaces of residences includes white, creams, light browns, and light grays.

Contrasting colors for accent elements may include darker hues of blue, green, slate, brown, and black, as well as light grays and white.

2.3.5 ROOFS

Roofs are a significant component in the overall appearance of a building, and careful consideration must be undertaken to ensure that the design and scale of the roof is compatible with the architectural style of the dwelling and surrounding neighborhood. Roofs should be simple shapes without overly complex joining. Predominantly moderate to steeply pitched hip or gable roofs characterized by projections, dormers, and roof ridge jogs are encouraged. Roof articulation should strive to establish a relationship not only to the human scale, but to the scale of its surrounding context. Refer to Exhibit 27 of Section B for appropriate roof treatments of single family residences.

Roof Form and Slope

A distinguishing characteristic of the roof is its moderate to steep pitches, usually in the form of a gable, hip, dutch gable, or combination of these. The use of hip roofs or front to rear gables is encouraged, while the use of side to side gables is discouraged.

ROR023703

25135

25112

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

Variety in roof lines is required to avoid a common roof line along neighborhood streets. Rooflines of adjoining residences are required to vary ridge heights, vary direction of gables, and blend roof forms.

Dormer windows are used to provide articulation to the roof, as are half round attic vents.

Roof overhangs may be either minimal or substantial, but must be compatible with the architectural style of the residence.

Roof slopes shall range from 6:12 to 12:12.

Roof Materials

- The primary roof material for residences within Queensridge neighborhoods shall be flat tiles or shakes. The use of a low profile barrel tile roof material is limited to one elevation option per floor plan for each builder neighborhood. The following materials are acceptable:
 - Concrete Tile
 - Clay Tile
 - Slate
- Prohibited roof materials include:
 - Red tile roofs
 - Asphalt Shingles
 - Fiberglass Shingles
 - Simulated Tile including Fiberglass or Metal

Standing seam metal roofs may be used subject to the sole discretion and approval of the Declarant.

Fascias may be either stucco, copper or tile. If wood is used, it shall be stained or painted.

Mechanical Equipment Screening

Mechanical equipment such as air conditioner, heaters, evaporative cooler, television and radio antennas, satellite and radar receivers and other such devices shall not be permitted on any roof. Mechanical devices such as exhaust fans, vents and pipes shall be painted to match adjacent roof surfaces.

ROR023704

25136

25113

960924.00092

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

The use of solar panels, hot water storage systems, or other similar devices shall not be visible from any street or community open space, and are subject to approval by the Declarant.

2.3.6 ARCHITECTURAL FEATURES & ACCENTS

The use of architectural features and accents is encouraged to create interest on building facades. Careful placement and treatment of accent windows, for example, not only reduces the scale of the building, but adds character to the elevations. Stairways and columns should be carefully integrated into the design of the building. Accent colors and material treatments should complement the primary building color. Extreme contrasts in style, material and/or color should be avoided. Refer to Exhibits 28 and 29 of Section B for appropriate architectural features and accents for single family residences.

Porches

Front porches provide a sense of intimacy to the neighborhood streetscene. Each builder neighborhood is required to have at least one floor plan and/or elevation which features an at grade front porch.

Residences without porches shall provide covered entries. (Porches differ from covered entries through the provision of railings.)

Trellis and Arbors

Trellises and arbors enhance nearly all architectural styles. They must be designed to maintain their appearance in the desert climate and detailed with blocking and metal fasteners to minimize twisting of wood members.

Sun Decks & Balconies

Front or rear sun decks or balconies are encouraged on homes within Queensridge neighborhoods. Sun decks may be located on the first or second floors, as well as on roof tops. Roof top sun decks, when used, shall be designed as an integral component of the architecture of the residence.

The use of rear patio covers which provide an excellent opportunity for second story balconies on rear facades is encouraged. However, the patio covers and balcony must be integrated into the design of the house to provide architectural articulation to the rear elevation. They must not have an "add-on" appearance.

ROR023705

25137

25114

960924.00092
9612.91662

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSBIDGE
SECTION B**

Balusters or guardrails shall complement the architecture of the residence. Balcony railings shall be designed with a minimum of 50% solid railing.

Window and Door Openings

Window and door openings within exterior wall surfaces shall be treated in one of the following ways:

- Trim surrounds on all sides.
- Recessed windows and doors into thickened walls.
- Windows projected forward of the wall plane.
- The use of bay windows on the front facade when appropriate.
- Curved walls of glass block or glass.
- Combination of the above or any other design treatment which achieves the scale, order, proportion or depth of opening which is compatible with the architectural style of the residence.

Windows on the front wall plane which break the eave line to create an extended dormer into the roof should be used, where appropriate, to provide architectural interest to the facade.

Principal windows on front elevations and on side and rear elevations which are adjacent to streets and community open space shall be recessed a minimum of 12" or be designed with 12" pop-outs. Principal windows are defined as a large window or windows located near a street or community open space. All other openings shall be trimmed.

Window shapes shall be appropriate for the architecture of the residence. Arched and stacked window designs are encouraged.

Windows may be either divided light, plain glass, or glass block. Frames may be white, bronze or earth-tone colors. Mill finish frames are prohibited.

Glazing may be either clear or tinted. Reflective glass is not permitted.

The use of quoins is encouraged to frame entry ways, windows and to articulate building corners.

QUEENSBIDGE
LUXURY, EXECUTIVE, AND UPGRADE LIFT DESIGN GUIDELINES
SEPTEMBER 4, 1996

QNR-K2001100-8208.7
9-26

ROR023706

25138

25115

960924.00092
24.11.01592

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSBIDGE
SECTION B**

Courtyard Walls and Fences

The use of courtyards is encouraged to enhance the architectural character of the residence. Courtyards are low walled enclosures at front entries at a maximum 2'-6" in height. Refer to Exhibit I7 of Section B for courtyards setback criteria.

Each builder neighborhood is required to have at least one floor plan and/or elevation which features a front courtyard.

Courtyard walls and fencing should complement the adjacent finish and architectural character of the residence.

Courtyard walls shall be stucco and embellished through the use of ceramic tiles, steps, recesses, cut-outs, and/or panels of wrought iron.

The use of gates at the entrance to the courtyard is encouraged.

Plant materials should be used to visually soften courtyard walls and fences.

Garage Doors

In order to avoid the impact of garage doors, it is encouraged that they be appropriately treated with decorative relief cuts, panels, small decorative windows, etc.

The face of garage doors shall be inset a minimum of one (1) foot from the adjacent wall surface, or have a minimum one (1) foot popped-out surround.

Garage doors shall be metal roll-up type. Wood overhead swing doors are not permitted.

Detached garages, if provided, must feature a similar roof treatment to the house it serves. In addition, they must provide a visual break through the use of such elements as a minimum four (4) foot offset, a minimum six (6) foot roof break, or a minimum ten (10) foot landscape separation.

Columns and Archways

The use of columns and archways add articulation to the character of the residence and are encouraged where appropriate to the architectural style. Columns and archways should be scaled appropriately to provide a sense of strength and support which is compatible with the

ROR023707

25139

25116

960924.00092
951112.01662

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

architectural style of the building. Attention to detail should be given with special attention to ornamentation.

Chimneys

Chimneys shall be designed to be in scale and proportion with the architecture of the building. Chimneys shall incorporate materials consistent with the detailing of the building elevations.

Spark arresters with metal sides should be used rather than open screen spark arresters. Spark arresters shall be painted a dark color, the roof jack an accent color.

Exterior Lighting

Exterior lighting enlivens the night-time street scene while improving security. Lighting fixtures shall be located on both sides of the garage door, the front door of dwelling units, address plaques, and entry courtyards when provided.

Exterior lighting located on the front of the home and visible from the street shall incorporate photocells and timers to provide automatic on and off.

Mailboxes

Individual, grouped or ganged mailboxes shall utilize mailbox designs approved by the U.S. Postal Service and shall meet federal accessibility design standards. Grouped or gang mailboxes shall incorporate the architectural theme of the project. The design of mailboxes will be reviewed by the Declarant. Refer to Section 1.4.6 for additional information.

QUEENSRIDGE
LUXURY, EXECUTIVE, AND UPGRADE LOT DESIGN GUIDELINES
SEPTEMBER 4, 1996

041984570011192-PLATE 7
B-28

ROR023708

25140

25117

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

Security Bars

Security bars on windows are prohibited as set forth in the Declaration. Ornamental gates which are compatible with the design theme of the neighborhood are allowed, subject to prior approval by the Design Review Committee.

Satellite Dishes

Satellite dishes, when used, are limited to those which are ground mounted dishes designed to be concealed in patio umbrellas, having a maximum diameter of twenty (20) inches. The use of satellite dishes is subject to review and approval of the Design Review Committee. Please refer to the Master Declaration for additional information.

2.4 LANDSCAPE

- 2.4.1 Lot Landscape Zones for:**
- Upgrade Neighborhood Lots
 - Upgrade Golf Lots
 - Executive Lots
 - Luxury Lots

Introduction

Each of the Lots contains the "Streetscape Zone" and its associated "Front Yard Zone" that will be landscaped by the Builder. In addition, each Lot has "Side and Rear Yard Landscape Zones" that will require landscaping as well by the Lot Owner. Planting in all these zones should be designed to create a cohesive environment that complements the Queensridge character. Refer to Exhibits 21 through 25 of Section B for a depiction of lot landscape zones.

Great care should be taken to selectively choose plant material that will acclimate to the harsh climate extremes when preparing a landscape design for the Las Vegas area.

Plant material must be selected from the plant palettes in subsection 1.4.8 of Section B for the specified landscaping zone ("Plant, Palette/Requirements Guidelines"). However, if an Owner chooses to propose the use of plant material not listed in the Design Guideline Plant Palette/Requirements Guidelines, detailed plans can be submitted to the Design Review Committee for consideration and approval. Keep in mind that any proposed plant material other than those species listed in Section B, subsection 1.4.8 must be plant material species that are acceptable and listed in the Clark County Department Comprehensive Planning Design Manual.

Streetscape Zone

ROR023709

25141

25118

960924.00092
11-12-77002

**EXHIBIT "D" TO MASTER DECLARATION OF
COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR QUEENSRIDGE
SECTION B**

The Streetscape Zone is that portion of each Lot immediately adjacent to the street and must have a unified landscape treatment or streetscape. (The Streetscape Zone is to be seven (7) feet in width and will begin at the back of the curb or back of the sidewalk).

Builders are responsible for installing the street trees within the seven (7) foot Streetscape Zone.

Front Yard Zone:

That portion of each Lot immediately adjacent to the dwelling unit up to the Streetscape zone ("Front Yard Zone") must also continue the unifying landscape treatment. At a minimum, turf must be installed and maintained within the Front Yard Zone.

Each Lot's Front Yard Zone may be enhanced by installing a designed landscape utilizing any of the plant material found in Section B, subsection 1.4.8 - Plant Palette / Requirements.

Trees should be located so they complement the individual home design and driveway location. Like-tree massing is encouraged in the landscape design. Trees should be used in groups rather than individually unless the tree is being used as an accent tree.

* * *

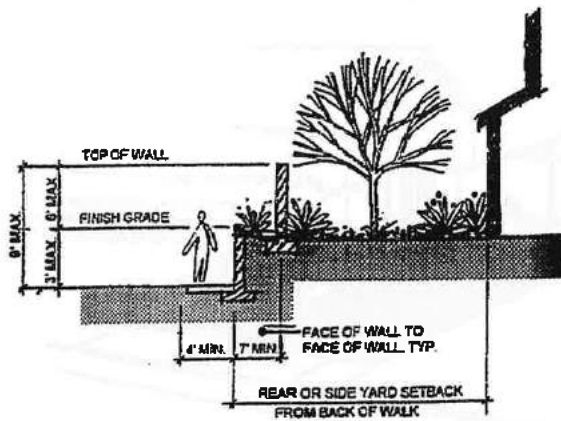
QUEENSRIDGE (M10846200) DOC-B, DR. 7
LUXURY, EXECUTIVE, AND UPGRADE LOT DESIGN GUIDELINES 8-30
SEPTEMBER 4, 1996

ROR023710

25142

25119

960924.00092



RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

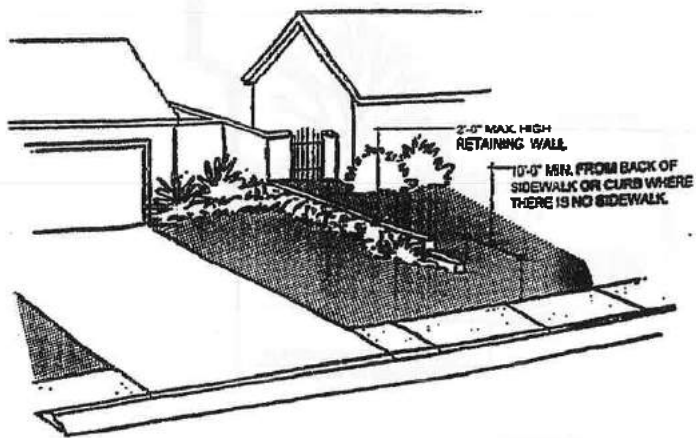
EXHIBIT 1

ROR023711

25143

25120

960924.00092



RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

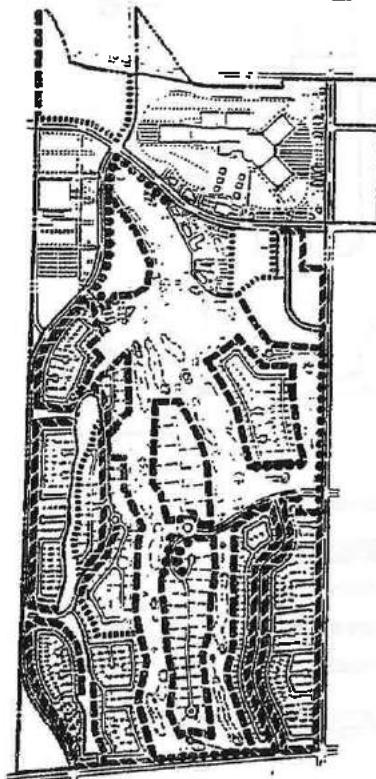
EXHIBIT 2

ROR023712

25144

25121

960924.00092
27-1-1992



Site Plan is for conceptual
purpose only, and is subject to
change at the discretion of the
Master Developer. Please refer to
Engineering Data Maps for proper
site layout.

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

LEGEND

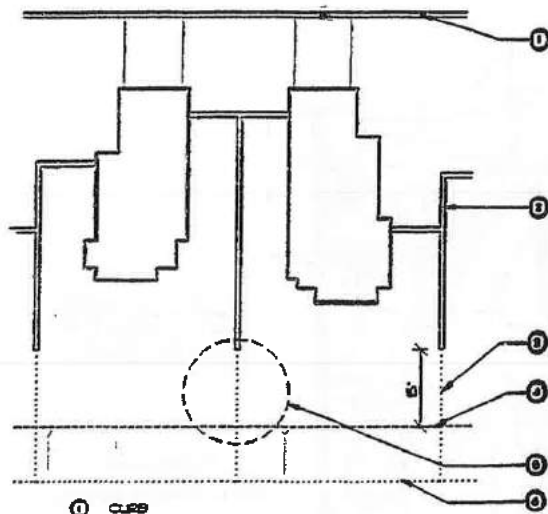
-  MASTER DEVELOPER
VIEW WALL
-  MASTER DEVELOPER
SOLID WALL
-  BUILDER VIEW WALL
-  BUILDER SOLID WALL

EXHIBIT 3

ROR023713

25145

25122



- ① CURB
- ② 5'-6" HIGH STUCCO SIDE-YARD WALL
SEE EXHIBIT 11
- ③ 5'-6" HIGH TUBULAR STEEL VIEW FENCE
AT BOTTOM OF SLOPE - SEE EXHIBIT 13
- ④ TOP OF SLOPE / LOT PROPERTY LINE
- ⑤ FOR ISOMETRIC VIEW, SEE EXHIBIT 10.
- ⑥ TUBULAR STEEL VIEW FENCE
SEE EXHIBIT 13.

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

ALL LOTS WITHOUT A VIEW OUT THE BACKYARD TO USE
A 5'-0" HIGH STUCCO WALL AT REAR PL - SEE EXHIBIT 11

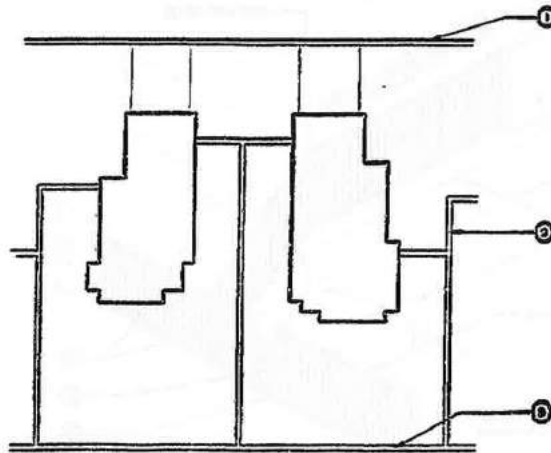
EXHIBIT 4

ROR023714

25146

25123

960924.00092
1 12 1992



- ① CURB
- ② 5'-6" HIGH STUCCO SIDE-YARD WALL
SEE EXHIBIT 11
- ③ 5'-6" HIGH STUCCO REAR-YARD WALL
SEE EXHIBIT 11

RECORDER'S NOTE
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

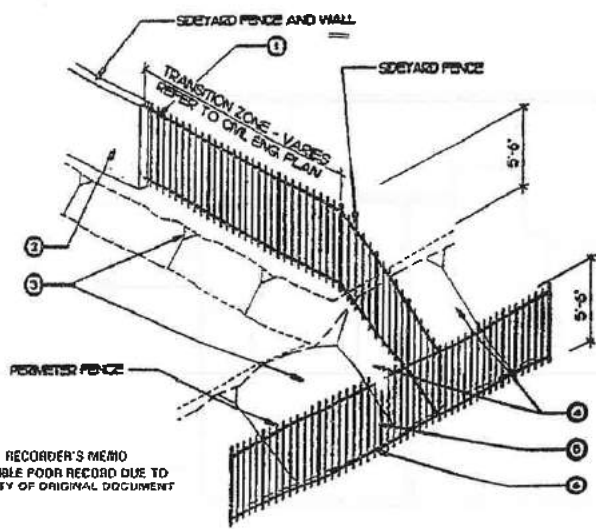
EXHIBIT 5

ROR023715

25147

25124

0000000000



RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

- ① TUBULAR STEEL SIDEYARD FENCE. SEE DETAIL A
- ② STUCCO SIDEYARD WALL, 5'-6" HIGH. SEE DETAIL A.
- ③ SLOPE PER CIVIL ENGINEERS PLANS.
- ④ NATURAL ZONE - LENGTH/DEPTH OF LOT VARIES
- ⑤ TUBULAR STEEL NATURAL ZONE REAR FENCE. SEE DETAIL A
- ⑥ TOE OF SLOPE - PER CIVIL ENGINEERS PLANS

LARGER LOTS THAT HAVE A POOL ARE REQUIRED TO
CONSTRUCT A 5'-0" CONTINUOUS BACKED WITH NO TOE
HOLD ON THE OUTSIDE OF THE PROPERTY AS REQUIRED BY
HEALTH SAFETY AND WELFARE DEPARTMENT CODES.

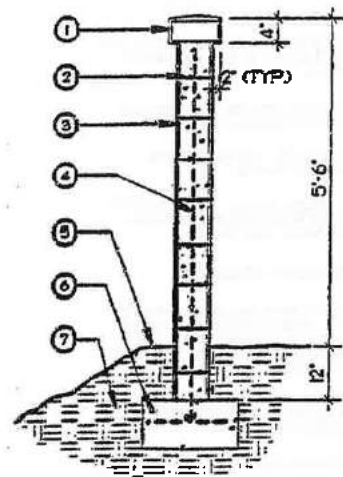
EXHIBIT 6

ROR023716

25148

25125

960924.00092
10/12/02



- ① PRECISION CAP - SLOPE TO DRAIN
- ② CMU BLOCK WALL - SIZE AND REINFORCING PER STRUCTURAL ENGINEER. GROUT SOLID ALL CELLS.
- ③ 1/2" STUCCO, COLOR AND TEXTURE TO MATCH GUARDHOUSE
- ④ REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR REINFORCING INFO.
- ⑤ FINISH GRADE - REFER TO CIVIL ENGINEER'S PLANS.
- ⑥ CONCRETE FOOTING - SIZE AND REINFORCING PER STRUCTURAL ENGINEER'S PLANS.
- ⑦ 90% COMPACTED SUB-GRADE

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

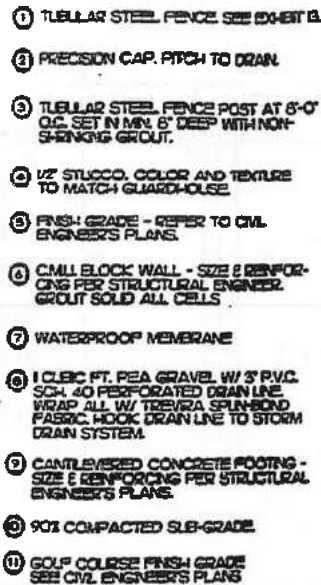
FREESTANDING STUCCO WALL TO BE USED FOR SIDE YARD AS WELL
AS REAR YARD WALLS WHERE NO VIEW EXISTS FROM REAR YARD.

EXHIBIT 7

ROR023717

25149

25126



LARGER LOTS THAT HAVE A POOL ARE REQUIRED TO CONSTRUCT A 5'-0" CLEAR WALL OR THE ABOVE 5'-6" FENCE. THERE MUST BE A 5'-0" CONTINUOUS BARRIER WITH NO TOE HOLD ON THE OUTSIDE OF THE PROPERTY AS REQUIRED BY HEALTH SAFETY AND WELFARE DEPARTMENT CODES.

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

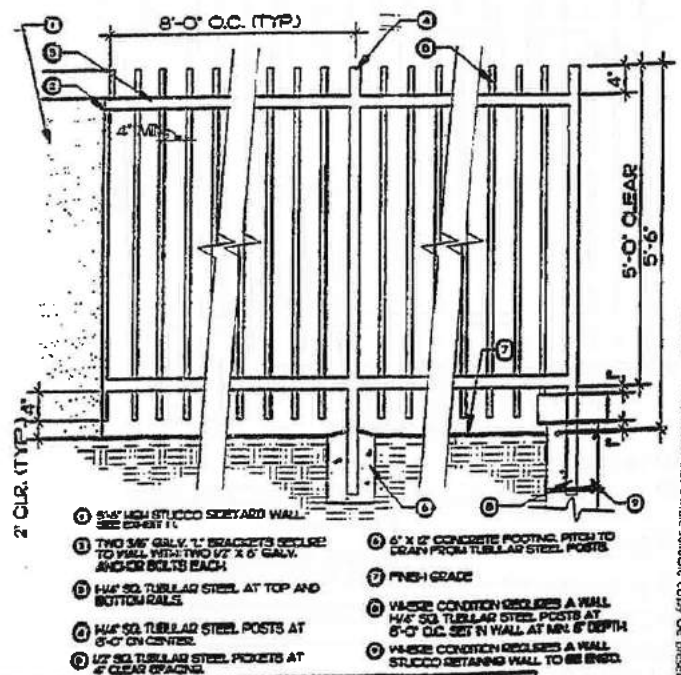
EXHIBIT 8

ROR023718

25150

25127

960924.00092



NOTES
 ALL METAL SURFACES TO BE HOT-DIPPED GALVANIZED WITH TWO COATS PLUS
 PREVENTATIVE PRIMER AND TWO COATS OF ENAMEL. ENAMEL COLOR TO MATCH
 EXISTING FENCE OR GATES. COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT
 PRIOR TO CONSTRUCTION.
 ALL METAL TO BE WELDED S&G DESIGNS, BUTT & GRIND SMOOTH.
 CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL.

EXHIBIT 9

NOTED: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FOR THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FOR THIS PROJECT.

ROR023719

25151

25128

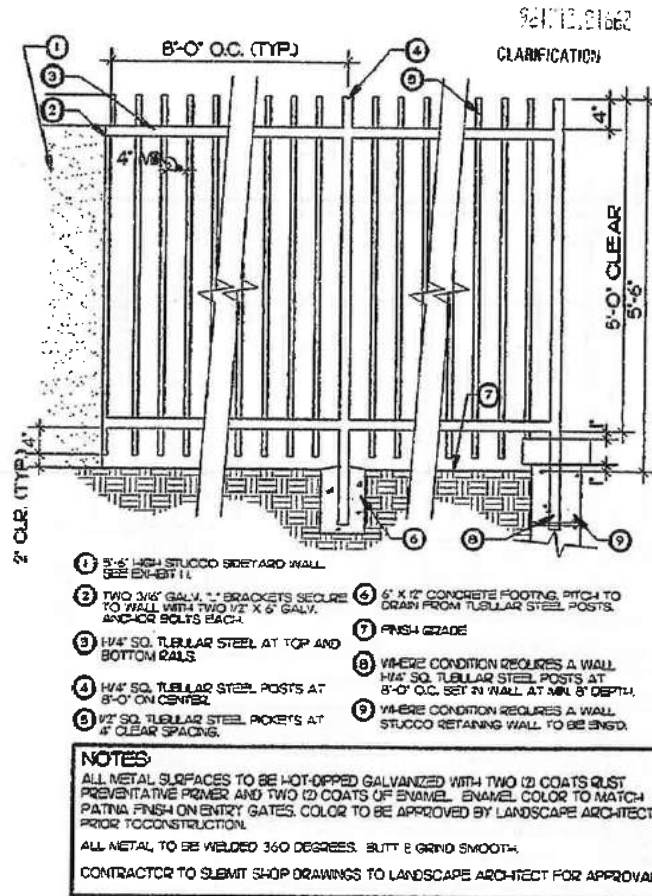


EXHIBIT 9

ROR023720

25152

25129

960924.00092

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

LANDSCAPE LIGHTING ZONES

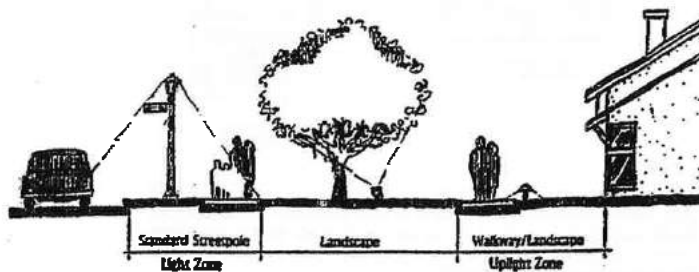


EXHIBIT 10

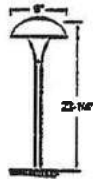
ROR023721

25153

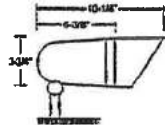
25130

960924.00092

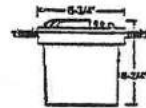
RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT



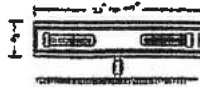
Typical Path
Light Fixture



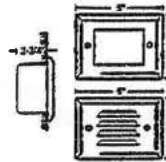
Typical Street Area
Capsule Fixture



Typical Yard Area
Uplight Fixture



Typical Garage
Light Fixture



Trench Recessed
Step Light Fixture

NOTE:

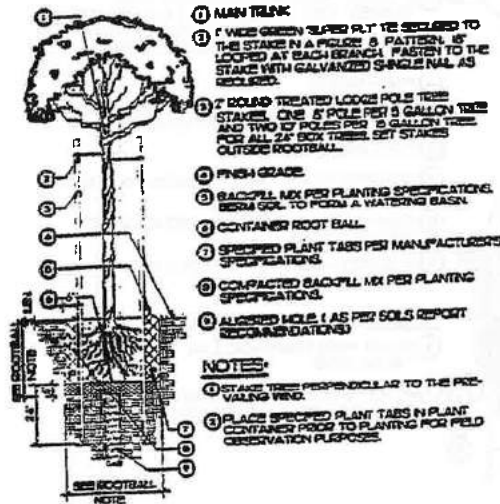
All lighting fixtures should be either powder coated or factory painted green, verde green, bronze, brown or black finish, except for path light fixture - solid bronze finish. Should owner/developer choose to use an alternate finish not listed in these Design Guidelines, detailed specifications can be submitted to the Queensbridge Design Review Committee for consideration and approval.

EXHIBIT 10

ROR023722

25154

25131



- ① MAIN TRUNK
- ② 1/2" WIDE GREEN SLIPES PLT. TO BE SECURED TO THE STAKE IN A PLEASANT PATTERN. 18" LOOPS AT EACH BRANCH. FASTEN TO THE STAKE WITH GALVANIZED SINGLE NAIL AS REQUIRED.
- ③ 2" ROUND TREATED LODGE POLE TREE STAKES. ONE 5' POLE PER 5 GALLON TREE AND TWO 10' POLES PER 15 GALLON TREE FOR ALL 24" BOX TREES. SET STAKES OUTSIDE ROOTBALL.
- ④ FINISH GRADE
- ⑤ BACKFILL MIX PER PLANTING SPECIFICATIONS. BERM SOL. TO FORM A WATERING BASIN.
- ⑥ CONTAINER ROOT BALL
- ⑦ SPECIFIED PLANT TABS PER MANUFACTURER'S SPECIFICATIONS.
- ⑧ COMPACTED BACKFILL MIX PER PLANTING SPECIFICATIONS.
- ⑨ AUGURED HOLE (AS PER SOILS REPORT RECOMMENDATIONS)

NOTES:

- ① STAKE TREE PERPENDICULAR TO THE PREVAILING WIND.
- ② PLACE SPECIFIED PLANT TABS IN PLANT CONTAINER PRIOR TO PLANTING FOR FIELD OBSERVATION PURPOSES.

ROOTBALL NOTE

ALL PLANT PITS FOR TREES 24" BOX 500 AND LARGER SHALL BE EXCAVATED TO A MIN OF 2' LARGER THAN THE DIAMETER AND 1-1/2' DEEPER THAN THE HEIGHT OF THE CONTAINER TO PREVENT HANDLING. PLANT PITS FOR 1 GALLON TO 15 GALLON PLANT MATERIAL SHALL BE 6" DEEPER THAN THE HEIGHT OF THE CONTAINER. EXCAVATE PITS WITH VERTICAL SIDES FOR ALL PLANTS. PLANTS SHALL NOT BE PLANTED IN DRY SOIL. SOIL SHALL BE MOIST AT LEAST 6" DEEP.

CAUTION NOTE

IT SHOULD BE NOTED THAT ALL CONTRACTORS NOTICE AN ALLOWANCE IN THEIR BID FOR PENETRATING THROUGH CAUTION SOIL WHEN IT IS ENCOUNTERED UNDER THESE PLANTING PITS. CONTRACTOR TO CHOOSE PROPER DRAINAGE FOR THESE PLANTING PITS.

RECORDER'S NOTE:

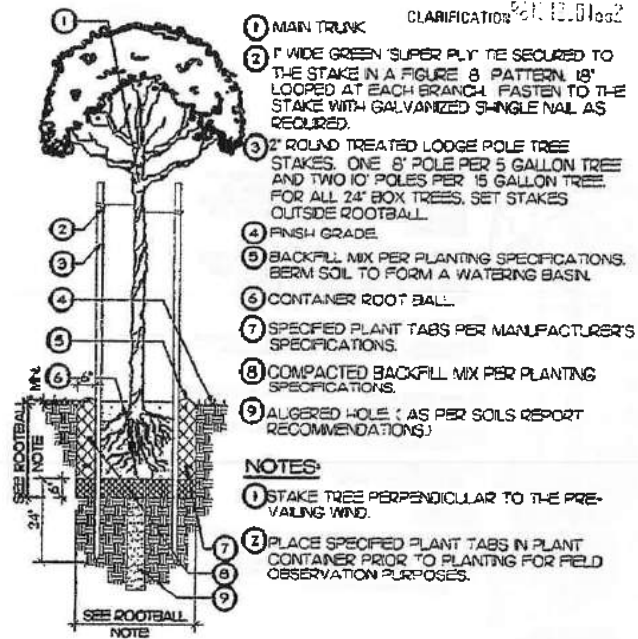
Due to the quality, characteristics or condition of this document, it may be unsuitable for microfilming and reproduction. Under 4618 247.120, the Recorder has requested that a more suitable copy be presented for reproduction.

EXHIBIT 11

ROR023723

25155

25132



NOTES:

- 1 STAKE TREE PERPENDICULAR TO THE PREVAILING WIND.
- 2 PLACE SPECIFIED PLANT TABS IN PLANT CONTAINER PRIOR TO PLANTING FOR FIELD OBSERVATION PURPOSES.

ROOTBALL NOTE:

ALL PLANT PITS FOR TREES, 24" BOX SIZE AND LARGER SHALL BE EXCAVATED TO A MIN. OF 2' LARGER THAN THE DIAMETER AND 1'-0" DEEPER THAN THE HEIGHT OF THE CONTAINER TO PERMIT HANDLING. PLANT PITS FOR 1 GALLON TO 15 GALLON PLANT MATERIAL SHALL BE A MIN. OF 6" DEEPER THAN THE HEIGHT OF THE CONTAINER. EXCAVATE PITS WITH VERTICAL SIDES FOR ALL PLANTS. PLANTS SHALL NOT BE PLANTED IN DRY SOIL. SOIL SHALL BE MOIST AT LEAST 8" DEEP.

CALICHE NOTE:

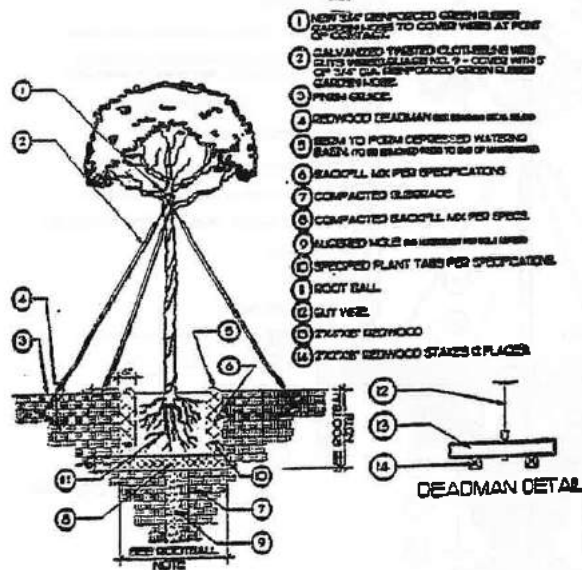
IT SHOULD BE NOTED THAT ALL CONTRACTORS INCLUDE AN ALLOWANCE IN THEIR BID FOR PENETRATING THROUGH CALICHE SOIL WHEN IT IS ENCOUNTERED UNDER TREE PLANTING PITS. CONTRACTOR TO ENSURE PROPER DRAINAGE FOR THESE PLANTING PITS.

EXHIBIT 11

ROR023724

25156

25133

**ROOTBALL NOTE:**

ALL PLANT PITS FOR TREES 2 1/2\"/>

CAULKE NOTE:

IT SHOULD BE NOTED THAT ALL CONTRACTORS INCLUDE AN ALLOWANCE IN THEIR BID FOR PENETRATING TUBEROUS CAULKE SOIL WHEN IT IS ENCOUNTERED UNDER THESE PLANTING PITS. CONTRACTOR TO ENSURE PROPER DRAINAGE FOR THESE PLANTING PITS.

RECORDER'S NOTE: Due to the mostly characteristics or condition of this document, it may be unsuitable for microfilming and reproduction. Under NRS 9A.71.00, the Recorder has requested that a more suitable copy be presented for reproduction.

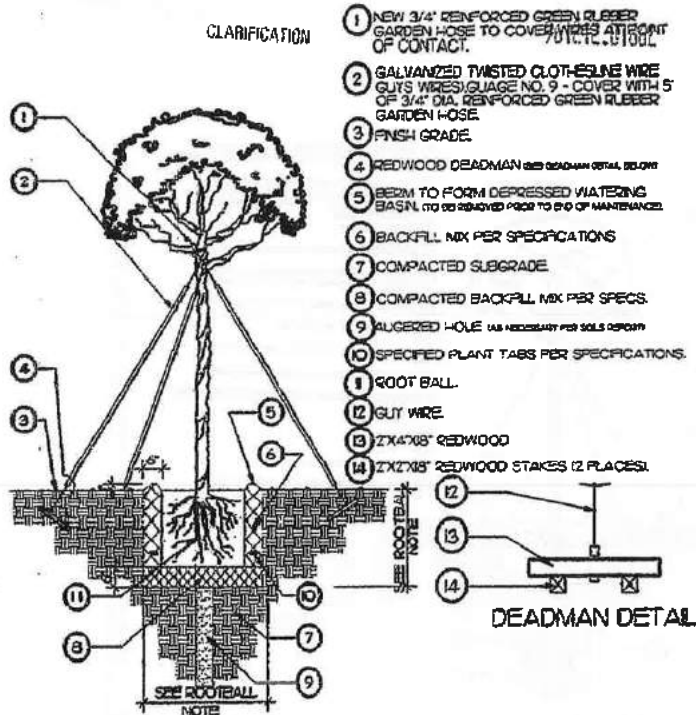
EXHIBIT 12.

ROR023725

25157

25134

CLARIFICATION



ROOTBALL NOTE

ALL PLANT PITS FOR TREES 24" BOX SIZE AND LARGER SHALL BE EXCAVATED TO A MIN. OF 2' LARGER THAN THE DIAMETER AND 1'-0" DEEPER THAN THE HEIGHT OF THE CONTAINER TO PERMIT HANDLING. PLANT PITS FOR 1 GALLON TO 15 GALLON PLANT MATERIAL SHALL BE A MIN. OF 6" DEEPER THAN THE HEIGHT OF THE CONTAINER. EXCAVATE PITS WITH VERTICAL SIDES FOR ALL PLANTS. PLANTS SHALL NOT BE PLANTED IN DRY SOIL. SOIL SHALL BE MOIST AT LEAST 18" DEEP.

CAULKE NOTE

IT SHOULD BE NOTED THAT ALL CONTRACTORS INCLUDE AN ALLOWANCE IN THEIR BID FOR PENETRATING THROUGH CAULKE SOIL WHEN IT IS ENCOUNTERED UNDER TREE PLANTING PITS. CONTRACTOR TO ENSURE PROPER DRAINAGE FOR THESE PLANTING PITS.

EXHIBIT 12

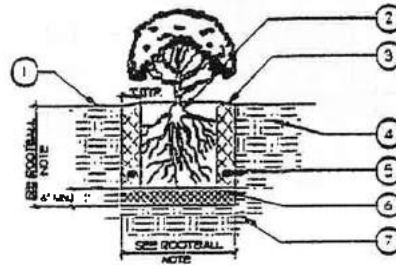
ROR023726

25158

25135

RECORDER'S NOTE:

Due to the quality, characteristics or condition of this document, it may be unsuitable for microfilming and reproduction. Under MRS 247.020, the Recorder has requested that a more suitable copy be presented for recataloging.



- ① FINISH GRADE
- ② CONTAINER PLANT ROOT BALL
- ③ BACKFILL MIX PER PLANTING SPECIFICATIONS
- ④ 2\"/>

ROOTBALL NOTE:

ALL PLANT PITS FOR TREES 24\"/>

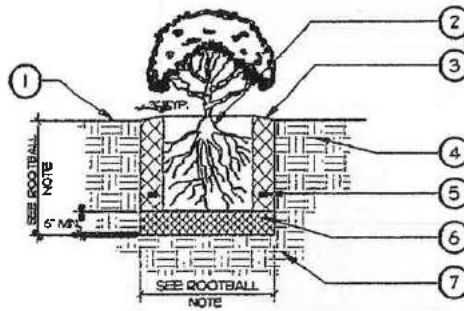
EXHIBIT 19

ROR023727

25159

25136

CLARIFICATION



- 1 FINISH GRADE
- 2 CONTAINER PLANT ROOT BALL
- 3 BACKFILL MIX PER PLANTING SPECIFICATIONS
- 4 10% COMPACTED SUBGRADE
- 5 NATIVE SOIL
- 6 COMPACTED BACKFILL MIX PER PLANTING SPECIFICATIONS
- 7 SPECIFIED PLANT MASS PER THE MANUFACTURER'S RECOMMENDATIONS.
PLACE MASS IN PLANT CONTAINER PRIOR TO PLANTING FOR OBSERVATION

ROOTBALL NOTE

ALL PLANT PITS FOR TREES 24" BOX SIZE AND LARGER SHALL BE EXCAVATED TO A MIN. OF 2' LARGER THAN THE DIAMETER AND 1'-0" DEEPER THAN THE HEIGHT OF THE CONTAINER TO PERMIT HANDLING. PLANT PITS FOR 1 GALLON TO 15 GALLON PLANT MATERIAL SHALL BE A MIN. OF 3' DEEPER THAN THE HEIGHT OF THE CONTAINER. EXCAVATE PITS WITH VERTICAL SIDES FOR ALL PLANTS. PLANTS SHALL NOT BE PLANTED IN DRY SOIL. SOIL SHALL BE MOIST AT LEAST 8" DEEP.

EXHIBIT 13

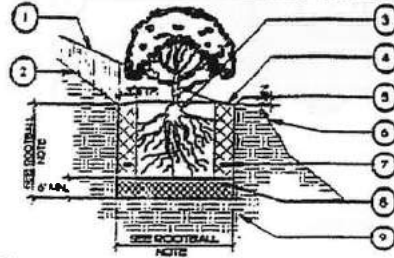
ROR023728

25160

25137

RECORDER'S NOTE:

Due to the quality, characteristics or condition of this document, it may be unsuitable for microfilming and reproduction. Under NRS 247.120, the Recorder has requested that a more suitable copy be presented for recodation.



- 1 MAXIMUM 1:1 SLOPE CUT.
- 2 CORNAL GRADE.
- 3 CONTAINER PLANT ROOT BALL.
- 4 BACKFILL MIX PER PLANTING SPECIFICATIONS.
- 5 TIGHTLY COMPACTED BACKFILL TO FORM A WATERING BASIN.
- 6 1:1 MAXIMUM SLOPE SURFACE.
- 7 NATIVE SOIL.
- 8 COMPACTED BACKFILL MIX PER PLANTING SPECIFICATIONS.
- 9 SPECIFIED PLANT TIES PER THE MANUFACTURER'S RECOMMENDATIONS. PLACE TIES IN PLANT CONTAINER PRIOR TO PLANTING FOR OBSERVATION.

ROOTBALL NOTE:

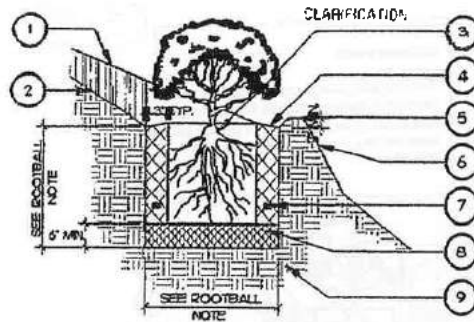
ALL PLANT PITS FOR TREES 2" BOX SIZE AND LARGER SHALL BE EXCAVATED TO A MIN OF 2' DEEPER THAN THE DIAMETER AND 1'-0" DEEPER THAN THE HEIGHT OF THE CONTAINER TO PERMIT WINDING PLANT PITS FOR 1 GALLON TO 15 GALLON PLANT MATERIAL SHALL BE A MIN OF 6" DEEPER THAN THE HEIGHT OF THE CONTAINER. EXCAVATE PITS WITH VERTICAL SIDES FOR ALL PLANTS. PLANTS SHALL NOT BE PLANTED IN DRY SOIL. SOIL SHALL BE MOIST AT LEAST 15" DEEP.

EXHIBIT 14

ROR023729

25161

25138



- ① MAXIMUM 1:1 SLOPE CUT.
- ② ORIGINAL GRADE.
- ③ CONTAINER PLANT ROOT BALL.
- ④ BACKFILL MIX PER PLANTING SPECIFICATIONS.
- ⑤ TIGHTLY COMPACTED BERM TO FORM A WATERING BASIN.
- ⑥ 1:1 MAXIMUM SLOPE SURFACE.
- ⑦ NATIVE SOIL.
- ⑧ COMPACTED BACKFILL MIX PER PLANTING SPECIFICATIONS.
- ⑨ SPECIFIED PLANT TABS PER THE MANUFACTURER'S RECOMMENDATIONS.
PLACE TABS IN PLANT CONTAINER PRIOR TO PLANTING FOR OBSERVATION.

ROOTBALL NOTE:

ALL PLANT PITS FOR TREES 24" BOX SIZE AND LARGER SHALL BE EXCAVATED TO A MIN. OF 2" LARGER THAN THE DIAMETER AND 1'-0" DEEPER THAN THE HEIGHT OF THE CONTAINER TO PERMIT HANDLING. PLANT PITS FOR 1 GALLON TO 5 GALLON PLANT MATERIAL SHALL BE A MIN. OF 8" DEEPER THAN THE HEIGHT OF THE CONTAINER. EXCAVATE PITS WITH VERTICAL SIDES FOR ALL PLANTS. PLANTS SHALL NOT BE PLANTED IN DRY SOIL. SOIL SHALL BE MOIST AT LEAST 3' DEEP.

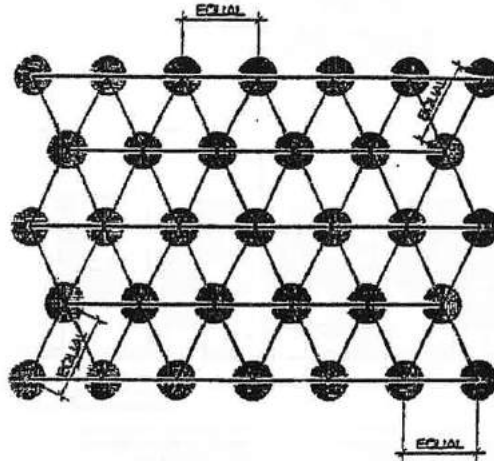
EXHIBIT 14

ROR023730

25162

25139

960924.00092
11/19/02
11/19/02



NOTE

ALL SHRUBS AND GROUNDCOVER TO BE PLANTED AT EQUAL TRIANGULATED SPACING AS ILLUSTRATED ABOVE

1 GALLON SHRUBS TO BE A MINIMUM OF 3'-0" ON CENTER

5 GALLON SHRUBS TO BE A MINIMUM OF 5'-0" ON CENTER

8 GALLON SHRUBS TO BE A MINIMUM OF 6'-0" ON CENTER

PLANTS OF GROUNDCOVER PLANTED A MINIMUM OF 12" ON CENTER

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

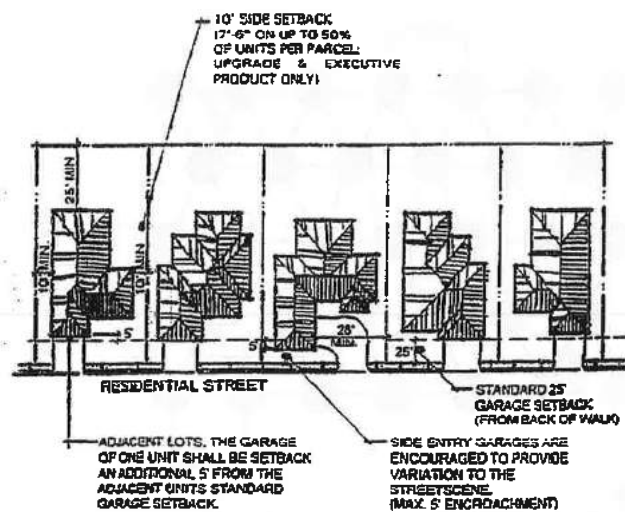
EXHIBIT 15

ROR023731

25163

25140

960924.00092
11-11-01002



RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

EXHIBIT 16

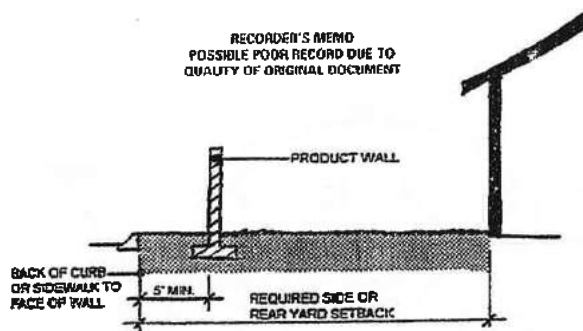
ROR023732

25164

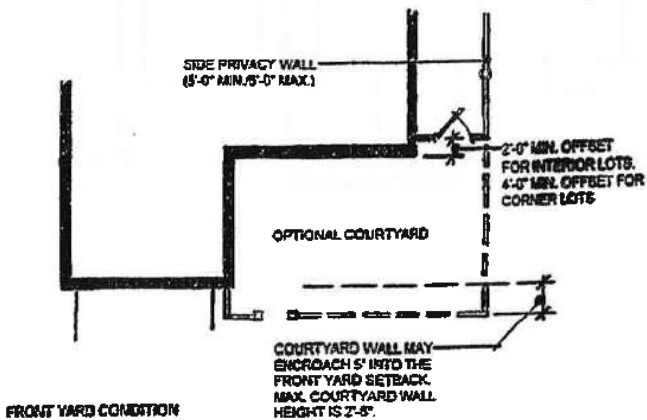
25141

960924.00092
11-11-01006

RECORDEN'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT



SIDE OR REAR YARD CONDITION



FRONT YARD CONDITION

EXHIBIT 17

ROR023733

25165

25142

960924.00092

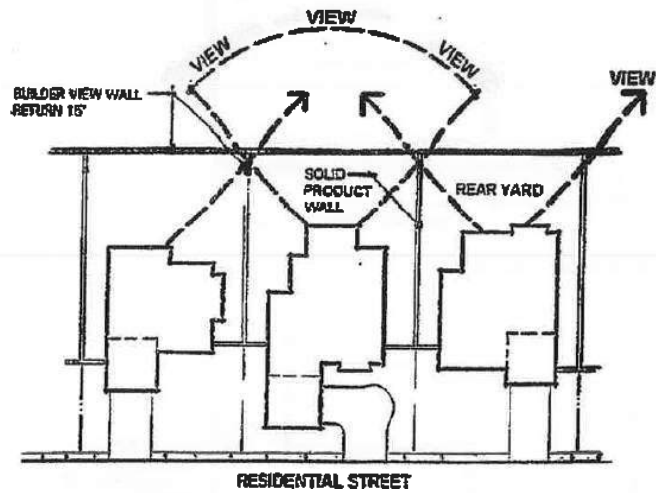


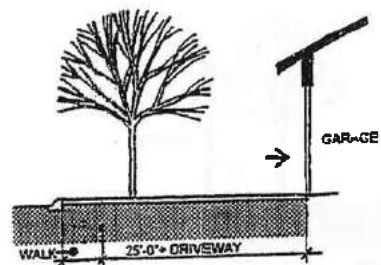
EXHIBIT 18

ROR023734

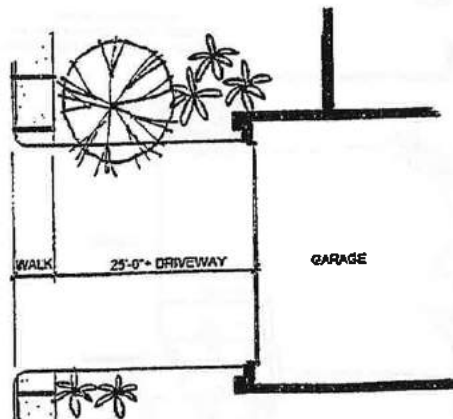
25166

25143

960924.00092



FRONT LOADED GARAGE
ELEVATION VIEW



FRONT LOADED GARAGE
PLAN VIEW

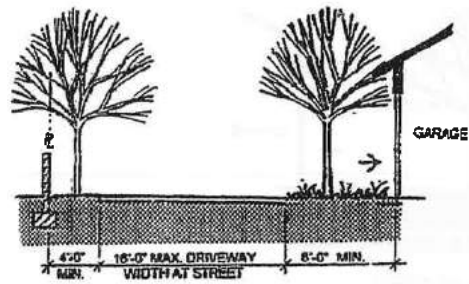
EXHIBIT 19

ROR023735

25167

25144

960924.00092



SIDE LOADED GARAGE
ELEVATION VIEW

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

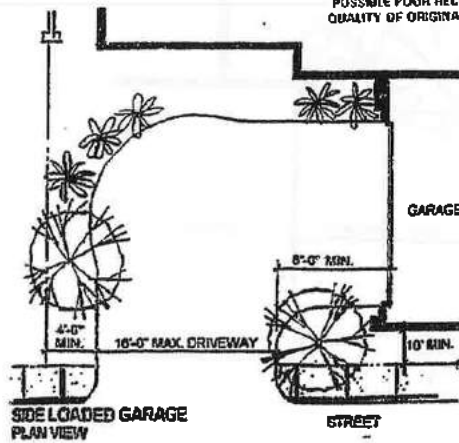


EXHIBIT 20

ROR023736

25168

25145

139

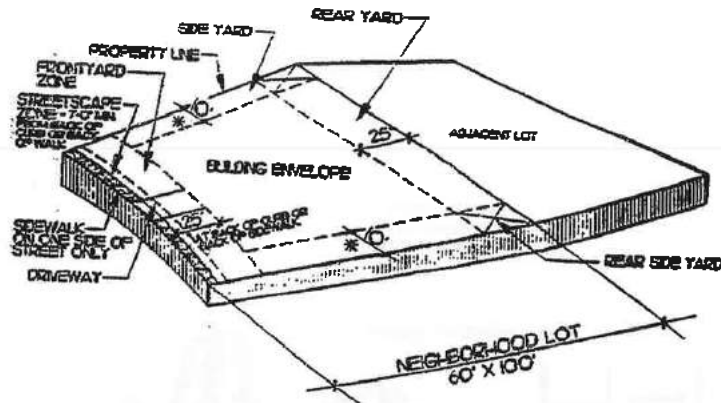
LOT LANDSCAPE ZONES



25146

960924.00092

THE PLANTING PALETTES LISTED IN SECTION ONE OF THE BUILDER DESIGN GUIDELINES HAVE BEEN DESIGNED TO CREATE A COHESIVE NEIGHBORHOOD STREETSCAPE ENVIRONMENT THAT COMPLEMENTS THE QUEENSBIDGE EUROPEAN CHARACTER, YET ALLOWS FOR INDIVIDUAL EXPRESSION WITHIN EACH UPGRADE NEIGHBORHOOD LOT.



* ON UP TO 50% OF THE LOTS/UNITS PER PARCEL, BUILDERS/ OWNERS ARE PERMITTED TO HAVE A 7'-6" SIDEYARD SETBACK.

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

EXHIBIT 22

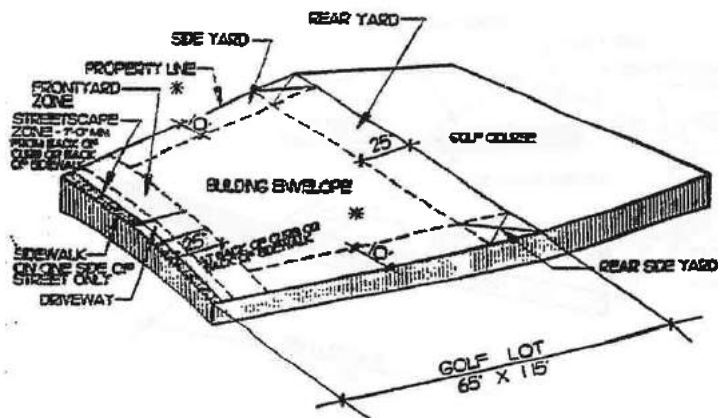
ROR023738

25170

25147

960924.00092
12/15/05

THE PLANTING PALETTES LISTED IN SECTION ONE OF THE BUILDER DESIGN GUIDELINES HAVE BEEN DESIGNED TO CREATE A COHESIVE NEIGHBORHOOD STREETSCAPE ENVIRONMENT THAT COMPLEMENTS THE CLEVERIDGE EUROPEAN CHARACTER YET ALLOWS FOR INDIVIDUAL EXPRESSION WITHIN EACH UPGRADE GOLF LOT.



* ON UP TO 50% OF THE LOTS/UNITS PER PARCEL, BUILDERS/ OWNERS ARE PERMITTED TO HAVE A 7'-6" SIDEYARD SETBACK

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

EXHIBIT 23

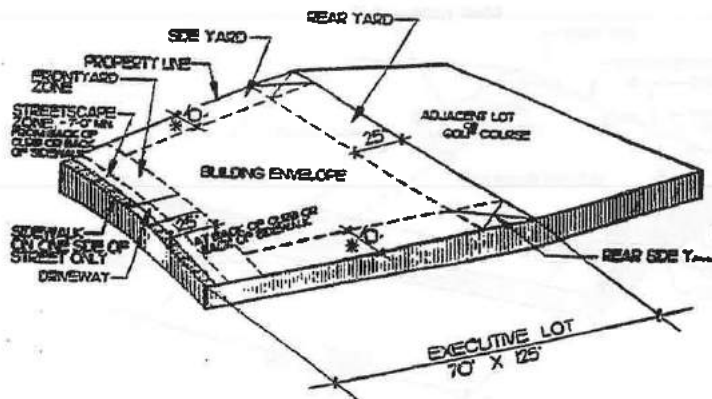
ROR023739

25171

25148

960924.00092

THE PLANTING PALETTES LISTED IN SECTION ONE OF THE BUILDER DESIGN GUIDELINES HAVE BEEN DESIGNED TO CREATE A COHESIVE NEIGHBORHOOD STREETSCAPE ENVIRONMENT THAT COMPLEMENTS THE OLDSCHOOL EUROPEAN CHARACTER YET ALLOWS FOR INDIVIDUAL EXPRESSION WITHIN EACH UPGRADE EXECUTIVE LOT.



* ON UP TO 50% OF THE LOTS/UNITS PER PARCEL, BUILDERS/ OWNERS ARE PERMITTED TO HAVE A 7'-6" SIDEYARD SETBACK.

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

EXHIBIT 24

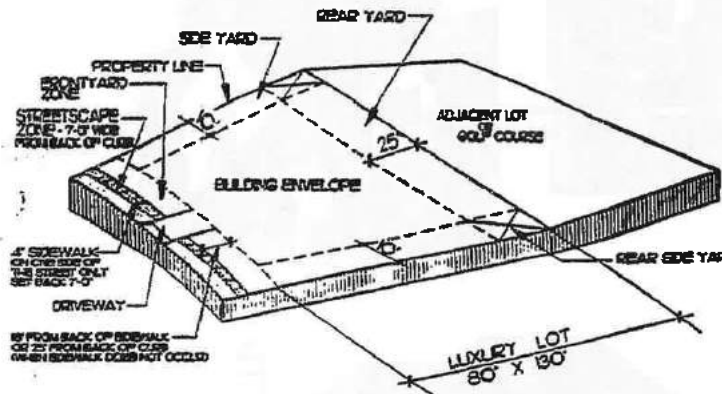
ROR023740

25172

25149

960924.00092

THE PLANTING PALETTES LISTED IN SECTION ONE OF THE BUILDER DESIGN GUIDELINES HAVE BEEN DESIGNED TO CREATE A COHESIVE NEIGHBORHOOD STREETSCAPE ENVIRONMENT THAT COMPLEMENTS THE QUEENSDALE EUROPEAN CHARACTER YET ALLOWS FOR INDIVIDUAL EXPRESSION WITHIN EACH LUXURY LOT.



RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

EXHIBIT 25

ROR023741

25173

25150

960924.00092

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

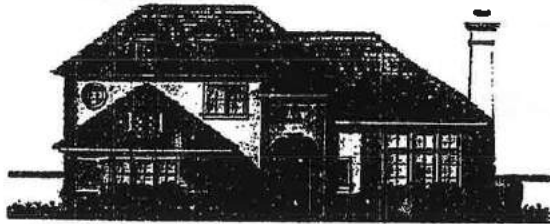


EXHIBIT 26

ROR023742

25174

25151

960924.00092

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT



EXHIBIT 27

ROR023743

25175

25152

960924.00092



RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT

EXHIBIT 28

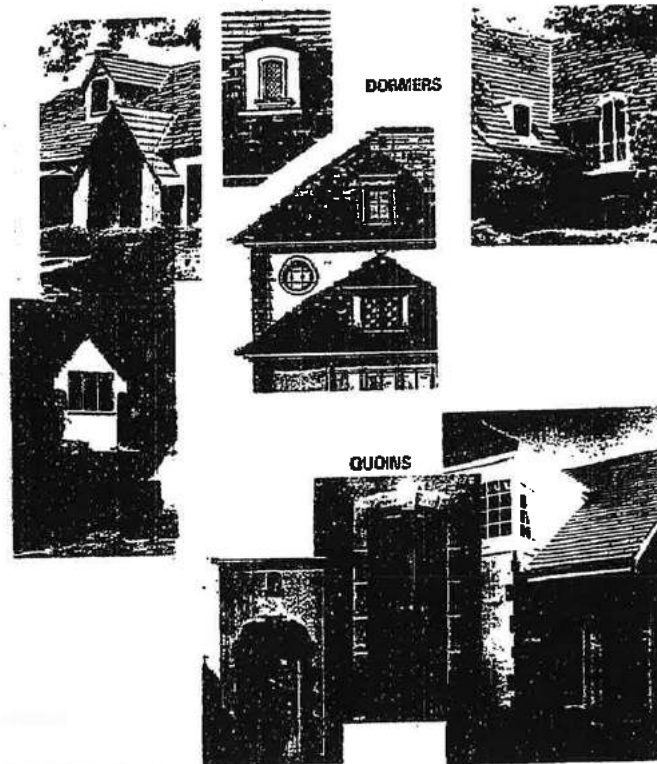
ROR023744

25176

25153

960924.00092

RECORDER'S MEMO
POSSIBLE POOR RECORD DUE TO
QUALITY OF ORIGINAL DOCUMENT



CLARK COUNTY, NEVADA
JUDITH A. VANDEVER, RECORDER
RECORDED AT REQUEST OF:
NEVADA TITLE COMPANY
09-24-96 03:01 TNL 62
BOOK 960924 / INST. 00092
FEE: 66.00 RPTT .00

EXHIBIT 29

ROR023745

25177

25154

CLARIFICATION

CLARK COUNTY, NEVADA
JUDITH A. VANOVER, RECORDER
RECORDED AT REQUEST OF:
RECORDER CLARK COUNTY
12-12-96 16:31 RHH 1.5
OFFICIAL RECORDS
BOOK: 951212 DIST: 01652
FEE: .60 RPTD: .10

ROR023746

25178

25155

FENNEMORE CRAIG
ATTORNEYS

Michael E. Buckley
mbuckley@fcclaw.com

300 South Fourth Street, Suite 1400
Las Vegas, NV 89101
PH (702) 692-8006 | FX (702) 692-8086
fennemorecraig.com

June 13, 2017

DIR – 70539

180 LAND CO, LLC, ET AL DEVELOPMENT AGREEMENT

Re: Supplemental Declaration for the Adoption of Section C of the Queensridge Master
Planned Community Standards, recorded in Book 970117, Document No. 1434, Official
records, Clark County, Nevada

Covers: Custom Lots

See Pages C-1, C-2, C-4, and C-38, and Exhibits C-1, C-6 and C-22 regarding the
interaction of the golf course and the custom lots in connection with the design of homes.

MBUCKLEY/12976279.1/041624.0001

ROR023747

25179

25156

When Recorded Mail To:
 Nevada Title Co.
 9500 Hillside #10
 Las Vegas NV 89134

**SUPPLEMENTAL DECLARATION
 FOR THE ADOPTION OF SECTION C OF THE
 QUEENSRIDGE MASTER PLANNED COMMUNITY STANDARDS**

This Supplemental Declaration for the Adoption of Section C of the Queensridge Master Planned Community Standards (this "Supplemental Declaration") is made as of the 30th day of December, 1996, by Nevada Legacy 14, LLC, a Nevada limited liability company, ("Declarant") with reference to the following facts and is as follows:

RECITALS:

A. Declarant is the Declarant under the Master Declaration of Covenants, Conditions, Restrictions and Easements for Queensridge ("Master Declaration") recorded on May 30, 1996, in the office of the County Recorder of Clark County, Nevada, in Book 960530 of official records as instrument no. 00241, re-recorded on August 30, 1996, in Book 960830, of said official records, as instrument no. 01630, and re-recorded on September 12, 1996, in Book 960912, of said official records, as instrument no. 01520.

B. Pursuant to Section 4.2.3 of the Master Declaration, Declarant hereby adopts Section C of the Master Planned Community Standards (Custom Lot Design Guidelines) as a supplement to Exhibit "D" to the Master Declaration.

NOW THEREFORE, Declarant hereby supplements the Master Declaration as follows:

0-19845200150770CLMCS
 12/27/96 4:35pm

DECLARATION:

1. Declarant hereby adopts Section C of the Master Planned Community Standards (Custom Lot Design Guidelines) which consists of 52 pages and Exhibits C-1 through C-27, inclusive, and is attached hereto ("Custom Lot Design Guidelines"). The Custom Lot Design Guidelines shall apply to the following described Residential Products:

(a) Custom Lots.

2. All capitalized terms not otherwise defined herein shall have the meanings ascribed thereto in the Master Declaration.

IN WITNESS WHEREOF, Declarant has executed this Supplemental Declaration as of the date first above written.

"DECLARANT"

NEVADA LEGACY 14, LLC, a Nevada limited liability company

By: PECCOLE NEVADA CORPORATION,
a Nevada corporation, its manager

By: [Signature]

Its: [Signature]

0409462001SUPPDECL.NCJ
12/27/90 4:55pm

2.

970117.1434

STATE OF NEVADA

COUNTY OF

This instrument was acknowledged before me on January 17, 1998, by Harry Smith, as CEO of Peccole Nevada Corporation, a Nevada corporation, the manager of Nevada Legacy 14, LLC, a Nevada limited liability company.

Signature of Notary

My Commission Expires: 6/15/2000



0-8196182001150PPDCL 1/17
12/27/99 4:38pm

3.

Queensridge
Master Planned Community
Standards - Section C
(Custom Lot Design Guidelines)

SECTION 1

INTRODUCTION

1.1 INTRODUCTION

1.1.1 PLANNING AND DESIGN CONCEPTS

Introduction

Nevada Legacy 14, LLC, is the master developer of Queensridge ("Master Developer"). The Master Developer's vision for Queensridge is to create a truly unique and distinctive community on this final piece of the Peccole family's land. In order to assist Custom Lot Homeowners in achieving the goals and objectives of the development, this Section C of the Master Planned Community Standards (herein sometimes referred to as "Custom Lot Design Guidelines") which articulates the Master Developer's vision of the overall community image, architecture, landscape and signage applies to all of the Custom Lots within Queensridge. Please refer to Exhibit C-1 for the location of the Custom Lot neighborhoods in Queensridge.

Community Image

The overall community image envisioned for Queensridge is characterized as "European". This image will be created through the comprehensive and careful integration of architecture, landscape and signage elements throughout the entire project. As a result of this fresh approach to the luxury community design theme, Queensridge promises to possess a distinctive character which is unlike any other community in the Las Vegas market.

Among the neighborhoods within Queensridge, the custom home enclaves are set within the spectacular environment of the Badlands golf course, and provide distinct choices for every lifestyle. The custom home neighborhoods include:

- An enclave of 1/2 to 1 acre lots completely surrounded by the golf course, providing an impressive amenity for each homesite. This custom home neighborhood is accessed from Charleston Blvd. via a guard gated entry at Palace Court.
- An exclusive enclave offering custom homesites of 1 1/4 + acres. This enclave is completely surrounded by the golf course creating a distinct exclusivity to the neighborhood. It is accessed from Charleston Blvd. via a guard gated entry at Palace Court.

QUEENSRIDGE

CUSTOM
C-1

LOT DESIGN GUIDELINES
04198462001100-0574.3
12/27/98 4:51PM

SECTION 1

INTRODUCTION

Architecture

Because of its broad range, the European character of Queensridge will enable the creation of a compatible yet diverse look throughout the neighborhoods. This style draws its inspiration from the built environment throughout Europe including French Country, Normandy, English, and Italian.

Landscape

The landscape treatment of streets, open space and individual yards is a key element of the overall European community image. This image will be enhanced through a "garden" style approach to the landscape program. The plant palette will consist of a variety of deciduous and evergreen plant materials for variety in color, texture, and the broad opportunity for design theming. Hardscape elements will feature the use of stone, brick and other textured materials for a traditional look.

Signage

The signage program will enhance the European image through the choice of traditional materials and craftsmanship. Entry signage will be of a low profile and convey a solid, high quality image, accentuated by the use of natural plant material for color accents.

Golf Course

The Badlands 18-hole championship golf course (with a planned addition of 9 holes) which is a daily fee course, designed by Johnny Miller, meanders through the arroyos and neighborhoods of the village. Significant view corridors are provided at key locations throughout Queensridge to enhance the open character of the community.

Parks

Complementing the golf course orientation of Queensridge, the first phase of development features a ± 3 acre neighborhood recreation area which is planned to include a $\pm 3,500$ square foot recreational facility, swimming pool and spa, and tennis courts. In addition, a series of small parks enhance the neighborhood environment including a "view" park providing passive open space overlooking the golf course, a children's park, and a pet's park. Many of the individual lots within the custom home neighborhood are also sized to accommodate a tennis court, subject to approval by the Queensridge Design Review Committee ("DRC").

QUEENSRIDGE

CUSTOM
C-2

LOT DESIGN GUIDELINES
04/08/00 11:00 EST M.J.
12/27/96 4:51 PM

SECTION 1

INTRODUCTION

1.1.2 DESIGN CRITERIA ROLE

Purpose and Applicability

The purpose of the Custom Lot Design Guidelines is to establish the concepts and provide the direction for the expression of the built environment within the custom home neighborhoods of Queensridge. They are intended to provide an overall framework for future development, achieving a sense of neighborhood identity, land use character, scale and sensitivity in the development of the neighborhoods.

Equally important, an extraordinary expenditure of time, resources, and capital has been used for the development of infrastructure, landscaping and other site improvements which are integral to the creation of a strong sense of identity for each of the custom home neighborhoods. The Custom Lot Design Guidelines provide the vehicle to protect and maintain the long term quality and value invested in the community. Accordingly, the Custom Lot Design Guidelines apply to construction on all lots within the Custom Lot neighborhoods of Queensridge.

The sketches and graphic representations contained herein are for conceptual purposes only and are to be used as general visual aids in understanding the basic intent of the guidelines. They are not meant to depict any actual lot or building design. In an effort to encourage creativity and innovation, the guidelines express "intent" rather than "absolute", thereby allowing a certain flexibility in fulfilling the intended design goals and objectives.

Supporting Documents

The Custom Lot Design Guidelines supplement the following documents which must also be consulted during the design and development of individual homesites:

- Las Vegas Building Codes
- Parcel Packages
- Master Declaration of Covenants, Conditions, Restrictions and Easements for Queensridge ("Master Declaration")
- Master Planned Community Standards (Exhibit "D" to the Master Declaration)
- Other Applicable Declarations affecting the Custom Lots

The Custom Lot Design Guidelines are subject to interpretation by the DRC. The DRC may amend or augment the Custom Lot Design Guidelines to meet specific site or functional requirements of Custom Lots within Queensridge, consistent with the basic objectives of the DRC.

QUEENSRIDGE

CUSTOM

Lot Design Guidelines
04198-162001100-0574.3
12/27/98 4:51 PM

C-3

SECTION 1

INTRODUCTION

Notwithstanding this, the Master Declaration contains legal restrictions regulating the construction and maintenance of improvements within the Custom Lot neighborhoods.

Responsibility of Review

Neither the Board of Directors of Queensridge Owners Association (the "Association"), the Master Developer nor the DRC assume responsibility for plan review of local codes or ordinances. The DRC's purpose in plan review is to ensure that each construction project meets the intent of the Custom Lot Design Guidelines and Applicable Declarations. All construction activities (defined in the Master Declaration) on the Custom Lots require review by the DRC and the City of Las Vegas. The City will require a review approval letter from the DRC prior to reviewing any documents, or issuing any permits for work performed on the Custom Lots within Queensridge.

QUEENSRIDGE

LOT DESIGN GUIDELINES
04/08/2001 10:00 CST
12/27/96 4:51 PMCUSTOM
C-4

SECTION 2

SITE PLANNING DESIGN CRITERIA

2.1 INTRODUCTION

The planning of the various neighborhoods throughout Queensridge seeks to create small neighborhood enclaves providing a strong sense of identity for each residential area. Significant amounts of open space are integrated into the master plan to define neighborhood edges, while view "windows" are provided at key locations to further accentuate the open character of the community. The small neighborhood identity is further enhanced by the use of short curvilinear streets and cul-de-sacs to minimize the effect of traffic upon neighborhood streets.

The following site planning criteria are established to ensure a consistency in the level of quality and image established for the Custom Lot neighborhoods within Queensridge. It includes those identifiable and unifying elements that promote consistency within the neighborhood streetscape, while encouraging variety and innovation through custom home building.

2.1.1 LOT IMPROVEMENT ZONES

Each custom lot consists of a series of zones in which certain improvements are permitted within each zone. Please refer to Exhibit C-2 which shows the typical location of the Lot Improvement Zones. These improvement zones, as further described below, include:

- Street Landscape Area
- Natural Zone
- Transition Zone
- Building Envelope

Street Landscape Area

The Street Landscape Area consisting of a landscaped parkway and a sidewalk installed by the Master Developer. The landscape, installed by the Master Developer, is planned to include street trees and shrub plantings as further described in Section 4.2.8. Each lot owner is responsible for the maintenance of the Street Landscape Area, as well as the replacement or repair of any damage to the sidewalk or curb caused as a result of site development of the lot. Please refer to Section 4 for additional information.

QUEENSRIDGE

CUSTOM
C-5

LOT DESIGN GUIDELINES
040846200 HOG-ES 9A.3
12/27/96 4:51PM

SECTION 2

SITE PLANNING DESIGN CRITERIA

Natural Zone

The Natural Zone is located at the rear of the custom lots, and has been established in order to maintain the character of the adjacent golf course. Grading and improvements within the Natural Zone should be minimized, and any landscaping should reflect the character of the adjacent environment. Appropriate improvements are limited to pathways, gazebos, small patios, spas, small turf areas, etc. This will result in a pleasing visual landscape between the residential dwellings and the golf course. Improvements within the Natural Zone are subject to approval by the DRC.

The physical characteristics of each lot determine the exact location of the Natural Zone, therefore, its size varies from lot to lot. Not all custom lots contain a Natural Zone. Please refer to Sections 2.3.2 and 4.2.7 for further information. In addition, refer to the Engineer's Base Map for exact Natural Zone locations.

Transition Zone/Rear Yard

The Transition Zone is the area between the Natural Zone and the Building Envelope on each lot. Within the Transition Zone, homeowners may locate site improvements such as patios, pools and decks, enhanced landscaping, accessory structures, etc., providing a pleasant transition between the residential dwellings and the Natural Zone.

The width of the Transition Zone varies on each custom lot. Please refer to Sections 2.3.2 and 4.2.7 for further information. In addition, refer to the Engineer's Base Map for exact Transition Zone locations.

Building Envelope

The Building Envelope is the remaining portion of the Lot, exclusive of any setbacks, easements or other encumbrances. Construction of residential structures may be located within the Building Envelope only. Please refer to Table B for general setback criteria and exceptions. In addition, refer to the Engineer's Base Map for exact Building Envelope locations.

OUTSIDE FOOT

CUSTOM
C-8LOT DESIGN GUIDELINES
04098482001100-0574.3
12/27/99 4:51PM

SECTION 2

SITE PLANNING DESIGN CRITERIA

2.2 DRIVEWAYS

2.2.1 DRIVEWAY CLEARANCE

Driveways and parking areas within the front yard setback, must be a minimum of 4' from the side property lines. No setback is required for driveways and parking areas beyond the front building setback, if sufficient parking and maneuvering area is provided.

2.2.2 DRIVEWAY ENTRANCES

A continuous roll curb will be constructed by the Master Developer along the front of each lot. It is the lot owners' responsibility to construct all necessary curb and sidewalk cuts, and to construct a concrete driveway apron from the back of curb to the back of sidewalk. Corner lot driveways must enter at least 15' from the curb return of the street intersection. It shall be the lot owners' responsibility to repair any damage to the existing roll curb or sidewalk caused by site development of the lot.

Single entry driveways cannot exceed 18' in width within the street landscape area. Dual entry driveways (circular drives) cannot exceed 12' in width per entrance within the street landscape area. A 36' minimum separation, as measured from center line to center line, is required on all dual entry driveways. Driveway widths behind the sidewalk must begin at the same width as the driveway in front of the sidewalk, and then increase to a wider dimension, if necessary. Please refer to Exhibit C-3.

Street trees are provided by the Master Developer within the street landscape area. It is the lot owner's responsibility to situate driveways between existing street tree locations. A minimum 3 1/2' separation is required from the edge of the driveway to any tree within the street landscape area. A preferred driveway location plan is available from the Master Developer upon request. No existing tree from the street landscape area may be moved or relocated to accommodate a driveway. The lot owner shall physically verify existing street tree locations and note on the plan that this has been done.

C:\25190

CUSTOM
C-7

LOT DESIGN GUIDELINES
04/98/192001100-ESTM.3
12/27/98 4:51PM

SECTION 2

SITE PLANNING DESIGN CRITERIA

2.3 DEVELOPMENT STANDARDS

The development standards for Custom Lot homesites are shown in the following tables. Table A describes the Lot Improvement Zones for each custom lot, and Table B provides further development standards including additional setback criteria and exceptions, which apply to all custom lots.

2.3.1 COMBINED LOTS

Two or more adjacent lots may be combined to create a larger lot area, subject to the provisions of the Declaration. However, if a larger lot is desired by a prospective buyer, it is encouraged for the buyer to purchase a lot in the next higher category of lot sizes.

In the event lots are combined, the development standards for the next higher category shall apply, and the architectural scale of the residence and site planning must be compatible with the adjacent lots. The combining of lots, along with architectural and site design are subject to approval by the DRC.

2.3.2 TABLE A: LOT IMPROVEMENT ZONES / SETBACK MATRIX

LOT NO.	FRONT SETBACK* (Minimum)	SIDE SETBACK* (Minimum)	NATURAL ZONE (Minimum)	TRANSITION ZONE/REAR SETBACK* (Minimum)	BLDG Envelope (Approx.)
+ 1 1/2 AC. CUSTOM LOTS (225' x 300' Typ.)					
Lot 1	75'	40' Corner 60' Aggregate	-	75'	± 235' x 130' (± 30,550 S.F.)
Lot 2	75'	60' Aggregate 20' Minimum	-	75'	± 160' x 150' (± 24,000 S.F.)
Lot 3	75'	60' Aggregate 20' Minimum	-	75'	± 160' x 155' (± 24,800 S.F.)
Lot 4	75'	60' Aggregate 20' Minimum	-	75'	± 160' x 150' (± 24,000 S.F.)

OVERSHEET

LOT Design Guidelines
04/98/62001/06/25/14.3
12/27/98 4:51pm

Custom
C-8

SECTION 2

SITE PLANNING DESIGN CRITERIA

LOT NO.	FRONT SETBACK* (Minimum)	SIDE SETBACK* (Minimum)	NATURAL ZONE (Minimum)	TRANSITION ZONE/REAR SETBACK* (Minimum)	BLDG Envelope (Approx.)
Lot 5	75'	60' Aggregate 20' Minimum		75'	±168' x 120' (±19,200 S.F.)
Lot 6	35'	60' Aggregate 20' Minimum		40'	±230' x 90' (±20,700 S.F.)
Lot 7	35'	60' Aggregate 20' Minimum	30' - 80' See Engineer's Base Map	35' - 60' See Engineer's Base Map	±120' x 110' (±13,200 S.F.)
Lot 8	75'	60' Aggregate 20' Minimum	0' - 30' See Engineer's Base Map	35'	±180' x 120' (±21,600 S.F.)
Lot 9	75'	60' Aggregate 20' Minimum	0' - 100' See Engineer's Base Map	35'	±180' x 130' (±23,400 S.F.)
Lot 10	75'	60' Aggregate 20' Minimum	0' - 50' See Engineer's Base Map	35'	±150' x 185' (±27,750 S.F.)
Lot 11	50'	60' Aggregate 20' Minimum	25' - 50' (See Engineer's Base Map)	35'	±175' x 115' (±20,125 S.F.)
Lot 12	50'	60' Aggregate 20' Minimum	20' - 25' (See Engineer's Base Map)	35'	±230' x 110' (±25,300 S.F.)

1/4 TO 1 AC. CUSTOM LOTS (125' x 175' Typ.)

Lot 13	50'	40' Aggregate 15' Minimum	45' - 100' See Engineer's Base Map	25'	±85' x 140' (±11,900 S.F.)
Lot 14	50'	40' Aggregate 15' Minimum	65'	25'	±85' x 140' (±11,900 S.F.)

OUTSIDE

CUSTOM
C-8Lot Design Guidelines
04199462001100-CS PA.3
12/27/98 4:51PM

SECTION 2

SITE PLANNING DESIGN CRITERIA

LOT NO.	FRONT SETBACK* (Minimum)	SIDE SETBACK* (Minimum)	NATURAL ZONE (Minimum)	TRANSITION ZONE/REAR SETBACK* (Minimum)	BLDG Envelope (Approx.)
Lot 15	50'	40' Aggregate 15' Minimum	65'	25'	±95' x 120' (±11,500 S.F.)
Lot 16	50'	40' Aggregate 15' Minimum	50' - 65' See Engineer's Base Map	25'	±90' x 120' (±11,000 S.F.)
Lot 17	50'	40' Aggregate 15' Minimum	50' x 65' See Engineer's Base Map	25'	±90' x 110' (±11,000 S.F.)
Lot 18	50'	40' Aggregate 15' Minimum	50' - 65' See Engineer's Base Map	25'	±90' x 75' (±6,750 S.F.)
Lot 19	50'	40' Aggregate 15' Minimum	15' - 50' See Engineer's Base Map	25'	±90' x 85' (±7,650 S.F.)
Lot 20	50'	40' Aggregate 15' Minimum	15' - 40' See Engineer's Base Map	25'	±90' x 70' (±6,300 S.F.)
Lot 21	35'	40' Aggregate 15' Minimum	25' - 40' See Engineer's Base Map	25'	±90' x 65' (±5,850 S.F.)
Lot 22	50'	40' Aggregate 15' Minimum	25' - 60' See Engineer's Base Map	25'	±88' x 75' (±6,600 S.F.)
Lot 23	30'	40' Aggregate 15' Minimum	60' - 80' See Engineer's Base Map	25'	90' x 75' (6,750 S.F.)
Lot 24	50'	40' Aggregate 15' Minimum	65' - 85' See Engineer's Base Map	25'	±90' x 100' (±9,000 S.F.)
Lot 25	35'	40' Aggregate 15' Minimum	35' - 65' See Engineer's Base Map	25'	±110' x 85' (±9,350 S.F.)

QUEENSHIRE

LOT DESIGN GUIDELINES
04198462001100-0504.3
12/27/96 4:15 PMCUSTOM
C-10

SECTION 2

SITE PLANNING DESIGN CRITERIA

LOT NO.	FRONT SETBACK* (Minimum)	SIDE SETBACK* (Minimum)	NATURAL ZONE (Minimum)	TRANSITION ZONE/REAR SETBACK* (Minimum)	BLDG Envelope (Approx.)
Lot 26	35'	40' Aggregate 15' Minimum	35' See Engineer's Base Map	25' - 40' See Engineer's Base Map	±180' x 110' (±19,800 S.F.)
Lot 27	35'	40' Aggregate 15' Minimum	-	40'	±200' x 80' (±16,000 S.F.)
Lot 28	35'	40' Aggregate 15' Minimum	-	55'	±90' x 95' (±8,550 S.F.)
Lot 29	35'	40' Aggregate 15' Minimum	-	55'	±90' x 90' (±8,100 S.F.)
Lot 30	35'	40' Aggregate 15' Minimum	-	55'	±90' x 85' (±7,650 S.F.)
Lot 31	35'	40' Aggregate 15' Minimum	-	55'	±90' x 80' (±7,200 S.F.)
Lot 32	35'	40' Aggregate 15' Minimum	-	40'	±90' x 90' (±8,100 S.F.)
Lot 33	50'	40' Aggregate 15' Minimum	-	40'	±85' x 85' (±7,200 S.F.)
Lot 34	50'	40' Aggregate 15' Minimum	10' - 30' See Engineer's Base Map	25'	±90' x 130' (±11,700 S.F.)
Lot 35	50'	40' Aggregate 15' Minimum	10' - 30' See Engineer's Base Map	25'	±85' x 145' (±12,325 S.F.)
Lot 36	50'	40' Aggregate 15' Minimum	0' - 10' See Engineer's Base Map	40'	±85' x 160' (±13,600 S.F.)
Lot 37	50'	40' Aggregate 15' Minimum	-	40'	±85' x 160' (±13,600 S.F.)
Lot 38	50'	40' Aggregate 15' Minimum	-	40'	±85' x 180' (±15,300 S.F.)

QUESTIONS

CUSTOM
C-11Lot 0: SIGN GUIDELINES
04198-162001100-05-01-0
12/27/98 4:51 PM

SECTION 2

SITE PLANNING DESIGN CRITERIA

LOT NO.	FRONT SETBACK* (Minimum)	SIDE SETBACK* (Minimum)	NATURAL ZONE (Minimum)	TRANSITION ZONE/REAR SETBACK* (Minimum)	BLDG Envelope (Approx.)
Lot 39	30'	40' Aggregate 15' Minimum	-	40'	± 85' x 200' (± 17,000 S.F.)
Lot 40	35'	40' Aggregate 15' Minimum	-	40' (Rear)	± 200' x 140' (± 28,000 S.F.)
Lot 41	35'	30' Corner 15' Minimum	-	40' (Rear)	± 140' x 100' (± 14,000 S.F.)
Lot 42	35'	30' Corner 15' Minimum	-	40' (Rear)	± 140' x 100' (± 14,000 S.F.)
Lot 43	35'	40' Aggregate 15' Minimum	-	40' (Rear)	± 180' x 90' (± 16,200 S.F.)
Lot 44	35'	40' Aggregate 15' Minimum	-	40'	± 190' x 130' (± 24,700 S.F.)

* Architectural projections, such as eaves, window and door pop-outs, chimneys, low patio walls, and low equipment screens, may encroach a maximum of 2' into required setbacks.

2.3.3

TABLE B: DEVELOPMENT STANDARDS
GENERAL CRITERIA FOR ALL CUSTOM LOTS

CRITERIA	1/4 TO 1 AC	1 1/2 AC +
SETBACKS		
FRONT, SIDE, REAR		
PORTICO/COCHERE	35'	50'
TURN-IN GARAGE	5' Encroachment Permitted	No Encroachment Permitted
PATIO COVERS/ 2ND STORY DECKS	20' Rear Encroachment Permitted	20' Rear Encroachment Permitted

QUEENSWOOD

Lot Design Guidelines
04199482001100-05-01.3
12/27/96 4:51 PM

CUSTOM
C-12

SECTION 2

SITE PLANNING DESIGN CRITERIA

CRITERIA	1/2 TO 1 AC	1 1/2 AC+
SETBACKS		
COURTYARD WALL	10' Front Encroachment Permitted	20' Front Encroachment Permitted
CORNER WALL/FENCE	20'	30'
ACCESSORY STRUCTURES	Front: Not Permitted Rear: 15' Side: 5'	Front: Not Permitted Rear: 15' Side: 5'
ACCESSORY STRUCTURE BLDG. KIT.	12'	12'
SPORTS COURTS	10'	10'
SWIMMING POOLS	10'	10'
POOL DECKS	5'	5'
MIN. FLOOR AREA	3,500 - 10,000 Sq. Ft.	6,000 Sq. Ft. + (Subject to DRC Approval)
MAXIMUM 2nd FL. AREA (as a % of the 1st floor area)	40%	40%

2.3.4 BULK PLANE SETBACK

The maximum height of any structure at the front or corner side yard setback line is 15' with a sloping bulk plane setback of one foot horizontal for each 1 1/2 feet of vertical to a maximum building height of 30' as measured from the finished first floor elevation at the front setback line. Bulk plane setback is required on all residences. Architectural features on all units, including porte cocheres, which encroach within the bulk plane setbacks are subject to review and approval by the DRC. Please refer to Exhibit C-5 for detailed information.

QUEENSLAND

CUSTOM
C-13LOT DESIGN GUIDELINES
0498462001100-ESM.3
12/27/95 4:51pm

SECTION 2

SITE PLANNING DESIGN CRITERIA

2.4 BUILDING SITING AND ORIENTATION

2.4.1 INTRODUCTION

The Custom Lot areas have been designed to provide a sense of exclusivity to each of the neighborhoods. This exclusivity is further achieved through the ample sizing of individual lots to enable the creation of a pleasant neighborhood character with an emphasis on one-story homes and significant open space between residences. Each lot is designed to take advantage of the golf course open space, when possible, and to be sensitive to adjacent lot relationships. The siting of a house or structure and its orientation should reflect its functional needs, but should also be sensitive to the individual lot's characteristics, as well as adjacent lots and surrounding community. The siting and three dimensional character of each house should be considered as it relates to views to and from the house, its effect on adjacent lots, and the massing of consecutive lots. Please refer to Exhibit C-6.

The building setbacks specified in Tables A and B are minimum requirements. It is strongly encouraged for the design of individual homes to incorporate additional setbacks, where appropriate, to further enhance the character of the neighborhood and to increase the distance between residences on adjacent lots. The use of additional setbacks may be applied to certain lots to ensure specific siting issues are appropriately considered.

The DRC shall consider each lot independently, but will give extensive consideration to view corridors, impacts on adjacent homes, solar orientation, drainage patterns, impacts to existing site conditions, and driveway access.

QUEENAN002

LOT DESIGN GUIDELINES
04198462001100-ES-01.3
12/27/98 4:51PM

CUSTOM
C-14

SECTION 2

SITE PLANNING DESIGN CRITERIA

2.5 SITE AMENITY STANDARDS

2.5.1 ACCESSORY STRUCTURES

All accessory structures such as gazebos, decks, dog runs, storage buildings, equipment covers, etc., not a part of the principal structure are to be reviewed and approved by the DRC prior to construction. Please refer to Table B and Exhibit C-7 for setback criteria.

2.5.2 SWIMMING POOLS

Swimming pools, fountains, spas, etc. should be designed to visually connect to the residence through the use of walls or courtyards and should be screened from direct view from the street and adjacent lots. Fencing or walls around swimming pools may be combined with property line walls and fencing. Please refer to Table B for setback criteria.

2.5.3 TENNIS COURTS

Tennis courts are permitted only on custom lots which are 1 acre or greater in size, and are subject to review and approval by the DRC.

2.5.4 SPORTS COURTS

The location of all hard and soft surfaced dimensioned sport courts, such as basketball, racquetball, volleyball, etc., are subject to review and approval by the DRC at the preliminary review stage. (Please refer to Section A of the Master Planned Community Standards for preliminary plan submittal procedures.)

All such courts must have a minimum of a 10' setback from property walls to allow for light fixture placement and landscape screening. Lighting, if installed, shall be located, directed and shielded so that light rays and glare to the greatest extent practical, does not extend beyond the lot boundaries.

2.5.5 SITE FURNISHINGS

Security cameras may not be located on the top of walls, fences, roofs or railings.

QUEENSDOGE

Lot Design Guidelines
04/9845200100-0574.3
12/27/98 4:51pm

CUSTOM
C-15

1997.0117.1434

SECTION 2

SITE PLANNING DESIGN CRITERIA

Mailboxes will be installed for each lot by the Master Developer. Changes to the mailbox design or location are not permitted. Temporary gang mailboxes may be provided during construction if requested by the U.S. Postal Service.

QUEENSRIDGE

LOT DESIGN GUIDELINES
04198482001100-CST14.3
12/27/96 4:51 PM

CUSTOM
C-18

ROR023767

25199

25176

SECTION 2

SITE PLANNING DESIGN CRITERIA

2.5.6 SIGNAGE

Address identification signs are provided by the Master Developer for each dwelling.

All temporary signage must conform to the criteria set forth in the Queensridge Signage Standards.

2.5.7 SATELLITE DISHES AND ANTENNAS

Satellite dishes, when used, are limited to those which are designed to be concealed in patio umbrellas or ground mounted dishes up to 20 inches in diameter. The use of satellite dishes is subject to the review and approval of the DRC. Please refer to the Master Declaration for additional information.

2.6 WALLS AND FENCES**2.6.1 LOCATION AND RESPONSIBILITY**

The use of walls throughout Queensridge will only be to the extent necessary to provide privacy and security to neighborhoods and residences within the community.

Lot owners shall be responsible for the design and construction of walls or fences located along the golf course or other community open space which is adjacent to the individual lot. These walls shall be maintained by the individual lot owner and shall be designed in a manner which is compatible with the architecture of the main residence on the lot.

2.6.2 WALL DESIGN

Village walls may consist of either solid walls, open steel picket view fences or part solid and part picket view walls. Refer to Exhibits C-15 through C-18 for further design information regarding wall and fence design. Master Developer reserves the right to substitute other wall design and materials which are compatible with the Queensridge community.

QUEENSRIDGE
LOT DESIGN GUIDELINES
04/08/2009 11:00 CST MJS
12/27/98 4:51 PM

CUSTOM
C-17

SECTION 2

SITE PLANNING DESIGN CRITERIA

2.6.3 SETBACKS

Walls and fences may be constructed on any side or rear property lines. Only one wall or fence is permitted on a common property line.

Corner yard walls and fences must be setback a minimum of 20' from the property line on 1/3 to 1/2 and 1/2 to 1 acre lots. They must be setback a minimum of 30' on 1 1/2 + lots. Please refer to Table B.

The use of fences or walls is encouraged to enclose front courtyards. Please refer to Table B for front courtyard wall setback requirements.

2.7 PARKING

Minimum parking requirements are set forth in the City of Las Vegas Codes.

2.8 EASEMENTS

Easements are restrictions placed on lots to provide for a specific use, such as service of utilities, or drainage across a lot. Locating structures, walls or fences within an easement is strongly discouraged. Any such improvements built within an easement is the sole responsibility of the lot owner, and may be subject to removal at the expense of the lot owner if requested by the easement holder.

2.8.1 SERVICE AND UTILITY ELEMENTS

The parkway behind the curb contains a public utility easement for the provision of utilities to each lot. It shall be the lot owner's responsibility to coordinate with the public utilities to determine the exact location of utility lines prior to any construction activity.

OVERSPOOLS

LOT DESIGN GUIDELINES
0498462001100-ESTM.3
12/27/98 4:57pm

CUSTOM
C-13

SECTION 3

ARCHITECTURE DESIGN CRITERIA

3.1 INTRODUCTION

The European character of the overall community image for Queensridge will enable the creation of a compatible yet diverse look throughout each of the neighborhoods. This style draws its inspiration from the built environment throughout Europe, including French Country, Normandy, English, and Italian. The broad range of European architectural styles results in a great variety of building forms arranged in an informal manner, reminiscent of the rambling farmhouses of the European countryside. Although a diverse range of styles is found in the European vernacular, nearly all are characterized by moderate to steeply pitched roofs. Please refer to Exhibit C-8, which depicts the architectural "vision" for Queensridge.

The purpose of the Architectural Design Criteria is to ensure that the architectural character of the Custom Lot neighborhoods is compatible with that of the character envisioned for the all of Queensridge, while encouraging unique, innovative and creative design solutions to individual residences. Individual consideration will be given to the aesthetic and physical relationships of the building to the site and adjacent residences.

3.2 ARCHITECTURE DESIGN CRITERIA

3.2.1 ARCHITECTURAL STYLE

A variety of traditional architectural styles is encouraged throughout the Custom Lot areas to ensure that a pleasant neighborhood character is achieved which reflects the individuality of each homeowner. Regardless of which architectural style is selected, the design of the home must remain true to the traditional interpretations of the style. Highly stylized interpretations of a particular style are not permitted.

The following are examples of architectural styles which are compatible with the overall European character envisioned for Queensridge:

French Country	Mediterranean
Normandy	Spanish
English	Southwest
Italian	Victorian
Tudor	Contemporary

The following examples are not permitted:

QUEENSRIDGE

CUSTOM

LOT DESIGN GUIDELINES
049848200110G-CSTM.3
12/27/98 4:51pm

C-19

SECTION 3

ARCHITECTURE DESIGN CRITERIA

Colonial
Santa Fe

French Mansard

3.2.2 FLOOR AREAS

The following table depicts the allowable floor area for residences within each Custom Lot neighborhood:

TABLE C - ALLOWABLE FLOOR AREAS

	1/3 to 1/2 Ac. Lots	1/2 to 1 Ac. Lots	1 1/2 + Ac. Lots
Total Floor Area (Excluding Garages)	2,750 to 6,000 Sq. Ft.	3,500 to 10,000 Sq. Ft.	4,000 Sq. Ft. + (Subject to DRC Approval)
Max. 2nd Floor Area (as a % of the 1st Floor)	50% for 2,750 to 4,000 Sq. Ft. Homes 40% for 4,000 to 6,000 Sq. Ft. Homes	40%	50%

3.2.3 GARAGES

Residences are required to have 3-car garage (minimum). Garages may be attached, semi-attached, or detached, provided all building setback requirements are met. Side-loaded garages are preferred and strongly encourage to minimize the effect of garage doors along the street/seccae, and may encroach into the front setback a maximum of 5' on 1/3 to 1/2 acre lots and 1/2 to 1 acre lots. No encroachment for side entry garages is allowed on 1 1/2+ acre lots.

Porte cocheres are not permitted on 1/3 to 1/2 acre lots, but are permitted on 1/2 to 1 acre and 1 1/2+ acre lots. Porte cocheres, however, do not replace the requirement for a garage.

QUINCY WOOD

LOT DESIGN GUIDELINES
0498482001100-05013
12/27/08 4:51PM

CUSTOM
C-20

3.2.4 ARCHITECTURAL COMPONENTS

The architecture of a custom home can be broken down into three major components, including 1) Building Facades, 2) Roofs, and 3) Architectural Features & Accents. The proper design treatment of these three components will result in a visually pleasing residence and neighborhood environment throughout Queensridge. Please refer to Exhibit C-9 for a general description of how each of these components should be addressed relating to the European architectural styles.

3.2.5 BUILDING FACADE

The three dimensional success of a building and its site elements is a result of the careful treatment of building mass, proportion and scale, articulated by a variation in texture, materials, and color treatment. In general, large building masses should be avoided because of the resulting scale which would be out of balance in achieving a desirable relationship to the pedestrian streetscene. Structures which require greater amounts of space, should have vertical and horizontal offsets to break up the building mass and create a more desirable scale and visual interest to the dwelling. The interplay of shade and shadow, along with texture and openings in large building surfaces provides interest, balance, and human scale to the dwelling. In addition, the use of porches and balconies, window and entry treatments further emphasize building articulation. Together, each of these elements serve to encourage a "friendly" relationship and scale to the streetscene. Please refer to Exhibit C-10.

Building Mass and Scale

The broad range of European architectural styles results in a great variety of building forms, however, all are characterized by a moderate to steeply pitched roof.

The European style features an informal design quality inspired by the rambling European farmhouses in which a relaxed character is achieved through the use of a combination of building forms in an asymmetrical arrangement.

Residences within the Custom Lot neighborhoods are limited to two stories in height, however, a predominant one story character is preferred and strongly encouraged. Basements are permitted, however, any exposed wall surfaces must be finished in a manner which is consistent with the other wall surfaces of the building, and must be located within the building setback, including any exterior stairs.

QUEENSRIDGE

CUSTOM

LOT DESIGN GUIDELINES
04198402001100-05-14.3
12/27/98 4:51pm

C-21

SECTION 3

ARCHITECTURE DESIGN CRITERIA

The exterior design of the residences within the Custom Lot neighborhoods shall incorporate quality elements of design including balance, depth, repetition and contrast with special attention to shade and shadows. Roof lines should create interest while relating to adjacent residences. Single-story elements shall be provided to the extent possible at the perimeter of the residences with any two-story elements stepped back towards the center of the home, particularly for those elevations along neighborhood streets or community open space.

Two-story wall surfaces are not allowed. Where possible, single story elements should be provided at perimeter wall conditions. The flat appearance of two-story walls may also be broken up through the use of balconies, terraces and other projections, or by the use of tall or stacked window elements.

QUEENSDOGE

LOT DESIGN GUIDELINES
0498462001100-05-14.3
12/27/98 4:51PM

CUSTOM
C-22

SECTION 3**ARCHITECTURE DESIGN CRITERIA****Exterior Building Walls**

Materials for exterior building walls shall consist of at least one, but not more than three of the following:

- Stucco and plaster with a light to medium texture, such as dash, smooth, sand or lace. (Heavy textures such as swirl or heavy trowel are prohibited.)
- Brick (Clay)
- Glass
- Stone when used in conjunction with the above materials
- Glass Block
- White Adobe Clay

The use of any other building material shall be at the sole discretion of the DRC and must be approved in writing prior to construction.

Exterior wall finishes shall be continuous and consistent on all elevations of the residence in order to achieve a uniform and complete architectural design statement. Some architectural styles may dictate a mixed medium.

Colors

Building colors should reinforce the characteristics of the architectural style. The base color of the house is generally a light hue with a darker accent color used for detail elements such as doors and shutters.

An acceptable range of base colors for the primary surfaces of residences includes white, creams, light browns, and light grays.

Contrasting colors for accent elements may include darker hues of blue, green, slate, brown, and black, as well as light grays and white.

QUEENSRIDGE

CUSTOM
C-23

LOT DESIGN GUIDELINES
0419846200 JUDG-CSTM-3
12/27/98 4:51pm

3.2.6 ROOF DESIGN AND MATERIALS

Roofs are a significant component in the overall appearance of a building, and careful consideration must be undertaken to ensure that the design and scale of the roof is compatible with the architectural style of the dwelling and surrounding neighborhood. Roofs should be simple slopes without overly complex joining. Predominantly moderate to steeply pitched hip or gable roofs characterized by projections, dormers, and roof ridge jogs are encouraged. Roof articulation should strive to establish a relationship not only to the human scale, but to the scale of its surrounding context. Please refer to Exhibit C-11 for a depiction of appropriate roof treatments of custom homes.

Roof Form & Slope

A distinguishing characteristic of the roof is its moderate to steep pitches, usually in the form of a gable, hip, dutch gable, or combination of these. The use of hip roofs or front to rear gables is encouraged, while the use of side to side gables is discouraged.

Variety in roof lines is required to avoid a common roof line along neighborhood streets. Rooflines of adjoining residences are required to vary ridge heights, vary direction of gables, and blend roof forms.

Dormer windows should be used to provide articulation to the roof, as well as half round attic vents.

Roof overhang may be either minimal or substantial, but must be compatible with the architectural style of the residence.

Roof slopes of the main structure shall range from 6:12 to 12:12. Broken roof pitches extending over porches, patios or other similar features may be reduced to a minimum of 4:12.

Roof Materials

Roof materials for each residence shall consist of one of the following in either flat tiles or concrete shakes:

Concrete Tiles
Clay Tiles
Slate

QUEBINSRIDGE

LOT DESIGN GUIDELINES
049848200100-05-14.3
12/27/98 4:51PM

CUSTOM
C-24

SECTION 3

ARCHITECTURE DESIGN CRITERIA

Prohibited roof materials include:

Red-Tile Roofs
Asphalt Shingles
Fiberglass Shingles
Simulated Tile including Fiberglass or Metal

Standing seam metal roofs may be used subject to the sole discretion and approval of the DRC.

Fascias may be either stained, copper or tile. If wood is used, it shall be stained or painted.

Mechanical Equipment Screening

Mechanical equipment such as air conditioner, heaters, evaporative cooler, television and radio antennas, satellite and radar receivers and other such devices shall not be permitted on any roof. Mechanical devices such as exhaust fans, vents and pipes shall be painted to match adjacent roof surfaces.

The use of solar panels, hot water storage systems, or other similar devices shall not be visible from any street or community open space, and are subject to approval by the DRC.

3.2.7 ARCHITECTURAL FEATURES & ACCENTS

The use of architectural features and accents is encouraged to create interest on building facades. Careful placement and treatment of accent windows, for example, not only reduces the scale of the building, but adds character to the elevations. Stairways and columns should be carefully integrated into the design of the building. Accent colors and material treatments should complement the primary building color. Extreme contrasts in style, material and/or color should be avoided. Please refer to Exhibits C-12 and C-13 for examples of appropriate architectural features and accents for custom homes within Queensridge.

Terrace and Patio Structures

Patio balcony and terrace structures shall be designed to continue and/or complement the architectural features of design dwelling. Patio covers, as measured to the fascia, may extend 20' into the rear yard setback. Terraces, as measured to the fascia, may protrude 20' into the rear yard setback, provided the column supports remain within the setback. Cantilevered balconies with no supports extending to the ground plane fall under the same setback criteria.

QUEENSRIDGE

CUSTOM
C-25

LOT DESIGN GUIDELINES
04198482001100-ESD-3
12/27/96 4:51PM

SECTION 3

ARCHITECTURE DESIGN CRITERIA

Window and Door Openings

Window and door openings within exterior wall surfaces shall be treated in one of the following ways:

- Trim surrounds on all sides.
- Recessed windows into thickened walls.
- Windows projected forward of the wall plane.
- The use of bay windows.
- Curved walls of glass block or glass.
- Combination of the above or any other design treatment which achieves the scale, order, proportion or depth of opening which is compatible with the architectural style of the residence.

Windows on the front wall plane which break the eave line to create an extended dormer into the roof should be used, where appropriate, to provide architectural interest to the facade.

Principal windows on front elevations and on side and rear elevations which are adjacent to streets and community open space shall be recessed a minimum of 12" or be designed with 12" pop-outs. Principal windows are defined as a large window or windows located near a street or community open space. All other openings shall be trimmed.

Window shapes shall be appropriate for the architecture of the residence. Arched and stacked window designs are encouraged.

Windows may be either divided light, plain glass, or glass block. Frames may be white, bronze or earth-tone colors. Mill finish frames are prohibited.

Glazing may be either clear or tinted. Reflective glass is not permitted.

The use of quoins is encouraged to frame entry ways, windows and to articulate building corners.

QUINCY

Lot Design Guidelines
04198462001UG-CST4.3
12/27/99 4:51pm

CUSTOM
C-26

SECTION 3

ARCHITECTURE DESIGN CRITERIA

Sun Decks

Sun decks may be located on the first or second floors, as well as on roof tops. Roof top sun decks, when used, shall be designed as an integral component of the architecture of the residence. Balusters or guardrails shall complement the architecture of the residence.

Garage Doors

In order to avoid the impact of garage doors, it is encouraged that they be appropriately treated with decorative relief cuts, panels, small decorative windows, etc. The face of garage doors shall be inset a minimum of 12" from the adjacent wall surface, or have a minimum 12" popped-out surround.

Detached garages, if provided, must feature the same architectural style, materials, detailing and other characteristics as the main residence.

Columns and Archways

The use of columns and archways add articulation to the character of the residence and are encouraged where appropriate to the architectural style. Columns and archways should be scaled appropriately to provide a sense of strength and support which is compatible with the architectural style of the building. Attention to detail should be given with special attention to ornamentation.

Courtyard Walls and Fences

The use of courtyards is encouraged to enhance the architectural character of the residence. Courtyards are low walled enclosures at front entries with a maximum wall height of 2'-6".

Courtyard walls and fencing should complement the adjacent finish and architectural character of the residence.

Courtyard walls shall be stucco and embellished through the use of ceramic tiles, steps, recesses, cut-outs, and/or panels of wrought iron.

The use of gates at the entrance to the courtyard is encouraged.

Plant materials should be used to visually soften courtyard walls and fences.

QUEENSMODE

CUSTOM
C-27

LOT DESIGN GUIDELINES
04198462001100-CST4.3
12/27/96 4:51PM

SECTION 3**ARCHITECTURE DESIGN CRITERIA**

Please refer to Table B for courtyard setback criteria.

Chimneys

Chimneys shall be designed to be in scale and proportion with the architecture of the building. Chimneys shall incorporate materials consistent with the detailing of the building elevations.

Spark arresters with metal sides should be used rather than open screen spark arresters. Spark arresters shall be painted a dark color, the roof jack an accent color.

Gutters & Downspouts

Gutters are encouraged to be concealed or designed as a continuous architectural feature. Exposed gutters used as an architectural feature shall be either colored to match, or complement the surface to which it is attached.

Wood trim members may be used when colored with a semi-transparent or solid color stain or paint.

Exterior Lighting

Subtle, low-level lighting of facades and front yard landscape areas is encouraged. The lighting of address plaques is especially encouraged. Exterior lighting, however, shall not intrude or produce a glare onto adjoining lots, lots located across the street, or onto any community open space.

Satellite Dishes

Satellite dishes, when used, are limited to those which are designed to be concealed in patio umbrellas, or be ground mounted dishes up to 20 inches in diameter. The use of satellite dishes is subject to the review and approval of the DRC. Please refer to the Declaration for additional information.

Utility Equipment

Electric meters, gas meters, security equipment, HVAC units, water heaters, water softeners, swimming pool equipment, etc., shall be screened from public view in accordance with applicable utility company standards.

QUESTIONS

for DESIGN GUIDELINES
0498482001106-0594.3
12/27/98 4:51PM

CUSTOM
C-2B

SECTION 3

ARCHITECTURE DESIGN CRITERIA

3.2.8 ACCESSORY STRUCTURES

Accessory structures shall include any building or structure which is totally detached from the main building. Examples of these shall include, but are not limited to the following:

- Private Garages
- Storage Buildings
- Equipment Enclosures
- Shade Structures including:
 - Gazebos
 - Cabanas
 - Guest Houses
 (Guest houses may not be permitted on all lots. Permission to construct guest houses must be obtained from the DRC and the City of Las Vegas.)

Accessory structures shall comply with the setback requirements as shown in Table A and Exhibit 12. No accessory structures shall be located closer than 6' from the main building. Accessory structures shall not be connected to the main building by breezeways or any roof structure.

Accessory structures should be located and designed to be compatible and complement the design and form of the main residence. The use of landscaping is encouraged to soften the appearance of these structures.

3.3 SECURITY

All neighborhoods within Queensridge have been designed to restrict access into the neighborhood by the general public. The security system includes a live gated security system, all individual homes wired directly to the main security system, and the use of lighted house numbers to aid public safety. Roaming patrol or other security measures may be implemented at the sole discretion of the Board of Directors of Queensridge Owners Association as an additional service for either the Queensridge South Special Benefits Area or the Winter Palace Special Benefits Area.

Lot owners may design individual security and communication systems connected to commercially available facilities for fire, burglary and medical alert alarms. The individual home owners shall be responsible for the installation and maintenance of such systems.

Queensridge

CUSTOM
C-29Lot Design Guidelines
04/08/02001106-ESTD.3
12/27/96 4:51PM

SECTION 3

ARCHITECTURE DESIGN CRITERIA

Security bars on windows are prohibited in accordance with the Declaration. Security gates, such as courtyard entry gates, may be permitted in the sole and absolute discretion of the DRC.

QUEENSRIDGE

LOT DESIGN GUIDELINES
Q4198462001103-C5M3.3
12/27/96 4:51 PM

CUSTOM
C-30

ROR023781

25213

25190

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

4.1 INTRODUCTION

The landscape treatment of streets, open space and individual yards is a key element of the overall European community image. This image will be enhanced through a "garden" style approach to the landscape program. The plant palette will consist of a variety of deciduous and evergreen plants material for a variety in color, texture and the broad opportunity for design theming. Hardscape elements will feature the use of stone, cast concrete, brick, tile and other textured materials for a traditional look. Please refer to Exhibit C-14 which depicts the landscape "vision" for Queensridge.

4.2 DESIGN CRITERIA

4.2.1 SITE PREPARATION GUIDELINES

All property lines and utility locations must be verified prior to commencement of any work.

All permits, fees and agency inspections, as required, will be obtained prior to commencement and/or completion of any work.

All demolition, clearing, grubbing, stripping of soil, excavation, compaction and grading must be performed within the confines of the owner/builder's lot.

Adequate provision must be made to prevent surface waters from damaging excavations, public or private property and cut and fill slopes both during and after construction.

The use of chemical treatment on existing vegetation, if necessary, must be accomplished through a State Licensed Pest Control Applicator.

Any and all landscaping installed by the Master Developer (e.g., streetscaping and drainage easements) must be protected at all times through the use of fencing or other protective barriers. Any damage to existing landscaping or irrigation systems (with permitted encroachments) must be returned to its original state. Any alteration to existing landscape or irrigation systems must be redesigned by a registered Landscape Architect to reflect the existing palette and theme and reinstalled at the lot owner's expense.

Owners/builders should make themselves aware of any potential problems such as penetrating caliche soil when preparing site. It should be noted that all contractors should include an

Queensridge

LOT DESIGN GUIDELINES
04198482001100-ESTD.3
12/27/98 4:51PM

CUSTOM
C-31

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

allowance in their bids for penetrating through caliche soil when it is encountered under tree planting pits or any other landscape element.

4.2.2 SITE GRADING

General

All grading must be based on a grading plan prepared by a Registered Civil Engineer in conformance with the requirements of the City of Las Vegas and other governing agencies. This plan must be submitted to and approved by the Queensridge Design Review Committee, and all deposits required in these Custom Lot Design Guidelines shall be paid prior to commencement of work.

The grading plan must include the following information:

- Existing and proposed contours (one foot intervals)
- Finish pad elevations
- Top and toe of slope line locations
- Changes in slope (with elevations) if applicable
- Method of surface and/or subterranean drainage provisions with final elevations and site improvements

A state licensed soils engineer must provide continuous inspection during all excavation and fill operations and perform field and laboratory tests necessary to certify relative site compaction to 90 percent.

Finish Grading

No planting areas are to be graded when their moisture content is so great that excessive compaction will occur, nor when it is so dry that dust is formed and/or dirt-clods will not break up. Water shall be applied if necessary, to provide ideal moisture content for grading.

Final Grading of all planting areas shall include light rolling, raking and handwork as necessary to achieve desired contour and flow line patterns so as to result in evenly finished surfaces. Final grading shall insure a uniformly level surface with approved drainage, but without excessive compactions and depressions, dirt-clods, weeds and stones. The final surface soil of all planting areas is not to exceed a relative density of 85 percent.

QUEENSRD01

CUSTOM
C-32LOT DESIGN GUIDELINES
04198-162001166-CSTW.3
12/27/96 4:51PM

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

Upon completion of finished grading, the owner is required to have an agronomic type soils analysis made. Soil amendments and fertilizers must be incorporated into site soil in accordance with the soil analysis to the prescribed depth. Any import soil necessary to attain design grades and forms should be free of weeds, debris and have a balanced pH.

QuinnHodge

Lot Design Guidelines
04199462001100-EST-3
12/27/96 4:51pmCUSTOM
C-33

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

4.2.3 SITE DRAINAGE

Surface drainage of hardscape/paved areas must be a minimum of 1 percent slope and shall be directed to surface storm drains and underground/subterranean drains. Surface drainage of soil areas must be a minimum 2 percent slope; "swale" or drainage of large turf areas shall be a minimum 2 percent slope.

All sites unable to meet these minimum surface drainage rates must use underground drains. Drainage over the rear top of slope or onto adjacent property is prohibited.

All drains must contain inlets with an appropriate grate and underground drainline pipe must maintain a minimum drainage rate of 1/2 percent slope. All drain line material must be rigid Polystyrene, 1000 lb. crush strength or equal except when cast iron is required. Flex or ribbed drain line material is acceptable in some cases where a drainline radius must be achieved. Solvent is to be used for all fitting installations per the manufacturer's recommendations.

4.2.4 PROPERTY LINE WALLS

The purpose of these guidelines is to allow each parcel in Queensridge to exhibit its own identity while establishing a cohesive neighborhood environment that complements the Queensridge European community theme. The use of walls throughout Queensridge is encouraged only to the extent necessary to provide privacy and security to neighborhoods and residences within the community. Wall treatments viewed from public spaces shall be consistent in treatment with the adjacent buildings. Building materials such as masonry, stucco and square tubular steel are the standard materials for perimeter fencing. Complementary accent materials for wall caps and wall trim are encouraged. The use of precast concrete and stone are permitted as design accents and trim. Pilasters will not be incorporated into property line fencing. Exterior plaster or stucco will have a smooth, sand, or other light finish texture to match adjacent architecture styles. Heavy textures such as Spanish lace, swirl or heavy trowel are prohibited.

Please refer to Exhibits C-15 through C-18 which show and describe specific wall treatments for typical custom lot/parcel conditions.

QUEENSRIDGE

LOT DESIGN GUIDELINES
04/98/482001106-25113
12/27/98 4:51PM

CUSTOM
C-34

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

4.2.5 MAILBOXES

The purpose of the mailbox guidelines is to establish a cohesive site identity within each individual project that supports the overall Queensridge European theme. Mailboxes are functional elements. However, in the Queensridge community, mailbox pedestals that house the functional mailbox will be accent elements.

Mailbox pedestals should be designed to incorporate various design detail elements seen on the Queensridge entry and adjacent architecture. Mailbox pedestal materials shall be materials which are compatible with and reflect the elements of the surrounding environment. This includes materials such as masonry, concrete, stucco, stone, tile and tubular steel.

It is preferable that each individual lot have its own mailbox or a group mailbox structure off the lot as required by the Postmaster. Lot Owners must submit detailed plans to the DRC for consideration and approval.

4.2.6. LIGHTING STANDARDS

Proposed lighting plans should serve functional, safety and aesthetic purposes. It is the intent of these guidelines to encourage innovative lighting schemes which can be easily incorporated into the overall Queensridge development as an integral component. Lighting fixtures with particular attention to ornamentation, are encouraged for individual residences to enhance the European community image of Queensridge.

Energy efficient low voltage lighting, for aesthetic purposes, should be used in all landscaped areas. Refer to landscape Uplighting/backlighting standard for suggested fixture types.

Adequate on site lighting should be provided to ensure a safe environment, but not cause areas of intense light or glare.

Lighting fixtures should be attractively designed to complement the architecture and theme of the project site and adjacent buildings.

Walkway lighting fixtures shall be per landscape uplighting/backlighting standard. Lighting fixtures are not to project above the fascia or roof line of the building. All exterior lighting shall be shielded so as not to intrude on adjacent properties. Shields for security lighting, if provided, shall be painted to match the surface to which the light is affixed. Security lighting fixtures are

QUEENSRIDGE

CUSTOM
C-35LOT DESIGN GUIDELINES
04198462001.doc-CSTM.3
12/27/96 4:51pm

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

not to be substituted for parking lot or walkway fixtures, and are restricted to lighting only loading and storage locations, or other similar areas.

Landscape Uplighting/Backlighting

Landscape Uplighting is used to enhance the plant materials at recreation areas, entrances and other focal areas. Uplighting/backlighting within individual lots/parcels can be used in areas where one desires to "see" the effect of the lights and not the source. Uplighting enhances a landscape area with effects ranging from dramatic to enchanting. It can sharply project the shadows of large trees onto walls, silhouette the interior structure of unusual plants or softly frame a panoramic view.

Landscape Lighting utilizing a low voltage system is cost effective and energy efficient. However, standard line voltage lighting system may be used as long as the profiles of the fixtures resemble those specified. Please refer to Exhibits C-19 and C-20 for Landscape Lighting Zones and Lighting Profiles.

QUICKSHOOT

CUSTOM
C-38

Lot: Design Guidelines
04199482001100-CSTW.3
12/27/98 4:51 PM

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

**TABLE D
STANDARDS OF LANDSCAPE LIGHTING FIXTURES**

Fixture	Description	Recommended Spacing
Path Light	Enhance groundcover as well as providing safety lighting.	Per city standards for safety
Uplight	Above-ground uplights are used in shrub planting areas to illuminate trees and other landscape focal elements.	As required by landscape design
Recessed Uplight	Recessed in-ground uplights are used in turf/lawn areas to illuminate trees and other landscape focal elements.	As required by landscape design
Signage Light	Illumination of walls and signs. Available in line-voltage only.	Per manufacturer's specifications
Step Light	Flush-mount step lights to provide safety lighting.	Space every other step

NOTE:

All lighting fixtures should be either powder coated or factory painted green, Verde green, bronze, brown or black finish, except for path light fixture - solid bronze finish. Should owner choose to use an alternate finish not listed in these Custom Lot Design Guidelines, detailed specifications must be submitted to the DRC for consideration and approval.

OUCENPAGE

CUSTOM

LOT DESIGN GUIDELINES
04198462001100-CSIW.3
12/27/98 4:51PM

C-37

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

4.2.7 LOT LANDSCAPE ZONES

Lot owners are responsible for planting and maintaining all required landscaping within their property. As a minimum, lot owners are required to plant and irrigate turf in the Front, Side, Rear Yard and Transition Zones as well as revegetate the Natural Zones to match existing revegetation program established along the golf course perimeter.

Street Landscape Area:

The Street Landscape Area consists of a landscaped parkway and a sidewalk installed by the Master Developer. The landscape parkway is planned to consist of street trees spaced 15'-0" on center along with shrub plantings. It is the lot owner's responsibility to maintain the unified streetscape treatment installed by Master Developer. The lot owner must situate driveway(s) between the existing street tree locations and minimize the deletion of street trees to one per lot to accommodate a driveway apron. A minimum separation of 3'-0" is required from the edge of driveway to any tree trunk within the streetscape area. The lot owner must physically verify existing street tree locations and note locations on the landscape plans that will be submitted to DRC for consideration.

Front Yard Zone:

The Front Yard Zone is the area between the Street Landscape Area and the front wall plane of the residence. This zone must continue with a unifying landscape treatment which complements the Street Landscape Area.

Natural Zone (see Exhibit C-24):

The Natural Zone is located at the rear of the custom lots, and has been established in order to maintain the desert character of the adjacent golf course. The physical characteristics of each lot determine the exact location of the Natural Zone, therefore, its size varies from lot to lot. Not all custom lots contain a Natural Zone.

Landscaping treatment within the Natural Zone shall be revegetated with native landscape plant species and the ground can be covered with on-site crushed caliche rock that has been dug up as a result of grading. The landscape must maintain the elements and aesthetics of the surrounding desert/golf course environment. Landscape elements such as putting greens, spas and desert water elements may be incorporated into the Natural Zone landscape as long as these elements are

OUTERSPACE

LOT DESIGN GUIDELINES
06/08/02/01/10/03/10/13
12/27/98 4:51PM

CUSTOM
C-38

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

concealed, built into the existing landscape, not noticeably visible to other lots / golfers and revegetated with proper native material.

Transition Zone (see Exhibits C-21 and C-22):

The Transition Zone is the area between the Natural Zone and the Building Envelope on each lot. In essence, the landscaping within the Transition Zone is an continuation of the Lot's rear yard, and will serve the purpose of creating an aesthetic landscape transition between the residence and the Natural Zone. For the Transition Zone, the lot owner can submit plans using plants materials from the Plant Palette Front Yard Zone list. The lot owner can even choose to mix those species with some native species in an effort to create a stronger visual transition.

QUEENSBIDGE

LOT DESIGN GUIDELINES
0499462001100-ESTM.3
12/27/98 4:51PM

CUSTOM
C-39

4.2.8 PLANT PALETTE/REQUIREMENTS

Each of the lots contains a "Street Landscape Area" and its associated "Front Yard Zone". The "Front Yard Zone" will be landscaped by the lot owner. In addition, each lot has "Side and Rear Yard Landscape Zones" that will require landscaping as well by the individual lot owner. Planting in all these zones should be designed to create a cohesive environment that complements the Custom Lot community's European character.

Plant material must be selected from the following plant palette section for use in the associated Front Yard Planting Zone as well as the Side and immediate Rear Yard Planting Zones. However if an owner chooses to propose the use of plant material not listed in the following Plant Palette/Requirements section, detailed plans can be submitted to the DRC for consideration and approval. Keep in mind that any proposed plant material other than those species listed in the following Plant Palette/Requirements section must be plant material species that are acceptable and listed in the Clark County Department Comprehensive Planning Design Manual.

Great care should be taken to selectively choose plant material that will acclimate to the harsh climate extremes when preparing a landscape design for the Las Vegas area.

The following plant palettes should be used in the landscaping of each lot.

Street Landscape Area:**Trees:**

Master Developer plans to install street trees in the streetscape zone. The street tree species will be a 36" box Pinus Edulis - Monell Pine planted at 15'-0" on center utilizing 'offset' spacing, or other varieties and spacing as may be chosen by Master Developer in its sole discretion. Master Developer will install root barrier per manufacturer's specifications.

In addition, Master Developer plans to install shrubs and irrigation in the street landscape area.

Lot owner must maintain the streetscape trees and shrub area when lot ownership is transferred from Master Developer to individual lot owner.

No existing tree or shrubs installed by the Master Developer in the street landscape area may be moved or relocated by lot owner.

QUESTIONS

CUSTOM
C-40LOT DESIGN GUIDELINES
04/98-162001100-001.3
12/27/98 4:51 PM

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

Front Yard Zone Plant Palette:

(This palette should also be used as a guide for Side and Rear yard landscape plant palettes.)

Trees:

Trees should be located so they complement the individual home design and driveway location. Like-tree massing is encouraged in the landscape design. Trees should be used in groups rather than individually unless the tree is being used as an accent tree.

Lot owners are required to enhance the effect of the tree placement with additional plant materials such as shrubs and ground cover selected from approved plant lists provided in the following Plant Palette Section of these Custom Lot Design Guidelines.

Botanical Name

Cupressus sempervirens
 Gloditzia toecanthos
 Koelreuteria bipinnata
 Lagerstroemia indica varieties
 Ligustrum lucidum
 Ligustrum japonica
 Malus Species "Linden"
 Pinus alberta
 Pinus halepensis
 Pinus pinea
 Pinus roxburgii
 Pistache chinensis
 Prunus cerasifera
 Approved Prunus species
 Quercus virginiana
 Robinia pseudoacacia
 Ulmus parvifolia

Common Name

Italian Cypress
 Honey Locust
 Chinese Flame Tree
 Grape Myrtle
 Glossy Privet
 Japanese Privet
 Linden Crabapple
 Mondell Pine/Afghan Pine
 Aleppo Pine
 Italian Stone Pine (large drawing)
 Indian Longleaf Pine
 Chinese Pistache
 Purple Leaf Plum
 Flowering Plums
 Southern Live Oak
 Black Locust
 Evergreen Elm

QUEENSRIDGE

CUSTOM
C-41

LOT DESIGN GUIDELINES
 04198462001UG-EST-3
 12/27/98 4:51PM

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

Shrubs:

<u>Botanical Name</u>	<u>Common Name</u>
Large:	
Arbutus unedo 'Compacta'	Dwarf Strawberry Tree
Juniperus chinensis 'torulosa'	Hollywood Juniper
Ligustrum japonicum 'texanum'	N.C.N.
Prunus caroliniana	Carolina Laurel Cherry
Xylosma congestum	Shiny Xylosma
Yucca pendula 'gloriosa'	Spanish Dagger
Yucca pendula	N.C.N.
Medium:	
Cotoneaster 'lowfast'	N.C.N.
Dodonaea viscosa	Hopsced Bush
Euonymus japonica	Japanese Euonymous
Euonymus japonica 'silver queen'	Japanese Euonymous 'silver queen'
<u>Approved Euonymous species</u>	
Nex vomitoria 'nana'	Yaupon
Juniperus chinensis 'procumbens' nana	N.C.N.
<u>Approved Juniper species</u>	
Nandina domestica	Heavenly Bamboo
Nerium oleander 'petite pink'	Dwarf Oleander
Photinia fraseri	Chinese Photinia
Pittosporum undulatum	Victorian Box
<u>Approved Pittosporum species</u>	
Punica granatum 'chico'	Dwarf Carnation Flowered Pomegranate
<u>Approved Pyracantha species</u>	
Raphiolepis indica 'clara'	White Indian Hawthorn
Raphiolepis indica 'springtime'	Indian Hawthorn
Tecomaria capensis	Cape Honeysuckle
<u>Approved Viburnum species</u>	
Xylosma congestum 'compacta'	Shiny Xylosma
Small:	
Dietes vegeta	Fortnight Lily
Hemerocallis fulva	Daylily
Juniperus chinensis 'gold coast'	N.C.N.

QUEENSBIDGE

LOT DESIGN GUIDELINES
04198462001100-CSTAL3
12/27/98 4:51 PM

CUSTOM
C-42

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

Approved Juniper species

Myrtus communis 'compacta'
 Pittosporum tobira 'variegata'
 Pittosporum tobira 'winter's dream'
Approved Pittosporum species
 Xylosma congestum 'compacta'

Compact True Myrtle
 Mock Orange
 Dwarf Tobira

Dwarf Xylosma

Vines & Espaliers:Botanical Name

Lonicera japonica 'halliana'
 Macladyana unguis-cati
 Photinia fraseri esp.
 Pyracantha coccinea esp.
 Rosa banksiae

Common Name

Hall's Japanese Honeysuckle
 Cat's Claw
 Japanese Photinia
 Firethorn
 Lady Banks Rose

Ground Cover:Botanical Name

Agastis species
 Baccharis centennial
Lantana species
 Pachysandra terminalis
 Rosmarinus cultivars
 Santolina chamaecyparissus
Vinca species
 Decorative Bark Mulch
 Cobble
 Decomposed Granite

Common Name

Coyote bush
 Japanese Spurge (shade only)
 Lavender Cotton

Turf:

Marathon Tall Fescue Blend
 Dwarf Marathon (low water turf grass)
 Medation Tall Fescue Blend

QUEENSDOCK

LOT DESIGN GUIDELINES
 0498462001100-CSTL3
 12/27/98 4:51PM

CUSTOM
C-43

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

Transition Zone - Plant Palette:

The lot owner can be creative in his landscape design and choose to mix the above palette list with the following Natural Zone palette list in an effort to create a visual landscape transition.

Natural Zone - Plant Palette:

The Natural landscape zone is to be revegetated with native landscape plant species and the ground can be covered with on-site crushed caliche rock that has been dug up as a result of grading.

Botanical Name
Baileya multiradiata
Encelia farinosa
Larrea tridentata
Sphaeralcea ambigua
Tamarix pentandra
Yucca brevifolia

Common Name
 Desert Marigold
 Desert Encelia
 Creosote bush
 Globemallow
 Saltcedar
 Joshua Tree

4.2.9 PLANTING DETAILS

The following details and information are intended to maintain a minimum standard installation of planting suitable to the Queensridge Custom Lot community.

All trees planted within 6'-0" of any hardscape or structure should be installed with a 36" deep by .060 thick (24" deep as a minimum) linear root barrier to minimize any lifting and/or cracking of hardscape areas and structures. Minimum installation requirements are as follows:

Install linear root barrier continuous along the hardscape or structure edge.
 Root barrier to parallel along the gallon/box size and curve extension a minimum of 18 inches past the gallon/box size.

All trees planted in turf areas should be planted with arbor guards to protect the tree trunk from turf edges.

QUEENSRIDGE

LOT DESIGN GUIDELINES
 04198482001100-ESTM.3
 12/27/96 4:51 PM

CUSTOM
C-44

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

To facilitate proper plant growth, a soil test and soil percolation test are highly recommended in order to provide proper soil amendments and proper soil drainage.

QUEENSDALE

Landscape Guidelines
04/98/6200100-CSTM.3
12/27/98 4:51PM

CUSTOM
C-45

4.2.10 INSTALLATION

All irrigation and planting installation shall be undertaken by competent personnel licensed to perform such work under a Nevada State contractor's license, or of equal competence. It is recommended that contractors performing construction and installation work provide a one year guarantee of all work and materials.

The following information is intended to guide the lot owner in preparing the landscape for visual and functional use. Landscape plant material to be considered as strong, visual unifying elements and should reflect the physical, functional and aesthetic qualities of the development. Please refer to Exhibits C-23, C-24, C-25, C-26 and C-27 ("Planting Details Exhibits").

Planting Standards:

- A. The planting should be designed to create, in time, a cohesive unified exterior environment to further complement the European character of Queensridge and adjacent plant material should therefore relate to the scale and character of the land improvements.
- B. A simple palette of plant material serves to enhance an area. A recommended palette has been developed as a guide in the previous sections.
- C. Trees and shrubs should provide the principal visual enhancement, with herbaceous and quick growing plants representing only a small quantity of the plant palette.
- D. The recommended shrub type and vine ground covers should be placed so they completely cover the soil when mature. (As illustrated in the Planting Details Exhibits.)
- E. Close attention should be given to the use of plant materials so they create a livable environment for people. Plants may be used to provide screening; define three dimensional spaces; control erosion, glare, noise, dust and climate; aesthetics; accentuating land forms; and defining circulation patterns.

QUEENSRIDGE

LOT DESIGN GUIDELINES
04/98462001100-0574.3
12/27/98 4:51 PMCUSTOM
C-48

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

- F. The planting design must be tailored to the type of irrigation system and operation proposed by the designer. An arrangement of plants with different moisture requirement should be avoided.
- G. Installation of the plant materials should be accomplished in a manner that reduces potential maintenance problems.
- H. Additional plant materials other than those listed in the planting palettes may be used only upon approval of a majority of the Queensridge Design Review Board Committee. Keep in mind that any proposed plant material other than those species listed in the following Plant Palette/Requirements section must be plant material species that are acceptable and listed in the Clark County Department Comprehensive Planning Design Manual.
- I. Vines should be permanently secure to vertical building surfaces except at major trellis structures designed as an integral part of the architecture. At retaining walls in rear yard encroachments into down slopes shall be installed and spaced so as to completely cover walls when mature.

4.2.11 IRRIGATION STANDARDS

The following information is intended to guide the lot owner and Landscape Architect in plan submittal and the structuring of the irrigation system for functional and maintenance efficiency. Efficiency in irrigation design will conserve water. All irrigation systems will comply with the water usage requirements specified by the Clark County Comprehensive Planning Design Manual as well as the City of Las Vegas and State of Nevada requirements.

- A. It is highly recommended that all irrigation systems be professionally designed by a Landscape Architect or Irrigation Consultant to ensure efficient water management and control for plant material.
- B. When selecting sprinkler heads, spacing, valving and programming controller, design should consider varying environmental conditions or

Queensridge

Custom
C-47

Lot Design Guidelines
04/30/2001 10:00 AM
12/27/98 4:51 PM

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

orientation such as: temperature extremes, sun and shade, soils, terrain, percolation rates, moisture sensing, erosion control and wind.

- C. All landscaped areas must have an automatic irrigation system. Systems should utilize 'state-of-the-art' equipment by brand name manufacturers. The use of automatic sprinkler controls offers flexibility and efficient irrigation. It is recommended that the new 'state-of-art' drip irrigation systems be designed for use in shrub/groundcover areas. The drip system is both cost effective as well as highly efficient.
- D. The construction drawings should indicate, by detailed graphic representation, the method of installing each type of sprinkler equipment and material used.
- E. Irrigation system design should provide for the equipment manufacturer's guarantee of achieving a uniform precipitation rate.
- F. Irrigation water will not be permitted to over spray onto adjacent properties.

4.2.12 MAINTENANCE

Prior to accepting the contractors work, a ninety (90) day maintenance program by the installing contractor is encouraged to ensure proper installation and satisfactory plant health. Problems such as irrigation adjustment and related plant failure should be corrected within the specified period.

Upon final acceptance by the lot owner or lot owner's representative the landscape contractor should recommend a qualified landscape and irrigation maintenance contractor. Landscape features including lawns, shrubs, trees, and ground covers will require mowing, trimming, pruning and fertilization.

The landscape maintenance program should include but not be limited to the following:

- A. Mowing and edging of turf grass at least once a week.

QUEENSBIDGE

LOT DESIGN GUIDELINES
04/9846200110G-CSM.3
12/27/98 4:31PM

CUSTOM
C-48

SECTION 4

LANDSCAPE ARCHITECTURE DESIGN CRITERIA

- B. Watering as required to maintain soil moisture necessary for proper plant growth.
- C. Fertilizing a minimum of four times a year with a balance fertilizer as prescribed in the soils analysis recommendations.
- D. Controlling weeds through selective use of approved post-emergent or pre-emergent herbicides. Consultation with a licensed pest control advisor is required for the use of insecticide and fungicide for pest and disease control.
- E. The maintenance contractor should perform soils testing and analysis on an annual basis to determine soil fertility, pH balance or toxic conditions and adjust the fertilization program, as necessary, to remedy any nutrient deficiencies.
- F. Trees shall be pruned on a regular basis to ensure that excessive growth will not encroach into any views of other properties.

QUICKSHEET

LOT DESIGN GUIDELINES
04/98/162001/00-ESTD.3
12/27/98 4:5 PM

CUSTOM
C-49

SECTION 5

CONSTRUCTION PROCEDURES

5.1 GENERAL

Section A (All Project Types) of the Master Planned Community Standards contains the Queensridge requirements pertaining to Construction Procedures and the Design Review and Approval Process.

5.2 CONSTRUCTION SCHEDULE

- a. The submittal of preliminary plans and drawings for the residential dwelling unit and other out buildings (collectively the "Residence Plans"), and plans for recreational amenities, such as swimming pools and tennis courts, and landscaping (collectively "Landscaping and Recreational Amenities Plans") must occur no later than 2-1/2 years after recordation of the deed conveying title to the lot from Master Developer to the Custom Lot Owner (herein "close of Escrow").
- b. The commencement of construction of the Residence (which means the commencement of visible work on the Lot) must occur within 3 years after close of Escrow.
- c. For Lots 13 through 44, inclusive, the issuance of a Certificate of Occupancy for the Residence must occur within 4-1/2 years after Close of Escrow; or for Lots 1 through 12, inclusive, the issuance of a Certificate of Occupancy for the Residence must occur within 5 years after Close of Escrow; and
- d. The commencement of work for recreational amenities and landscaping must occur on or before 6 months after the issuance of the Certificate of Occupancy and the completion thereof must occur within 6 months after the commencement of such work.

QUEENSRIDGE

LOT DESIGN GUIDELINES
04198482001100-0574.3
12/27/96 4:51pm

CUSTOM
C-30

ROR023801

25233

25210

SECTION 6

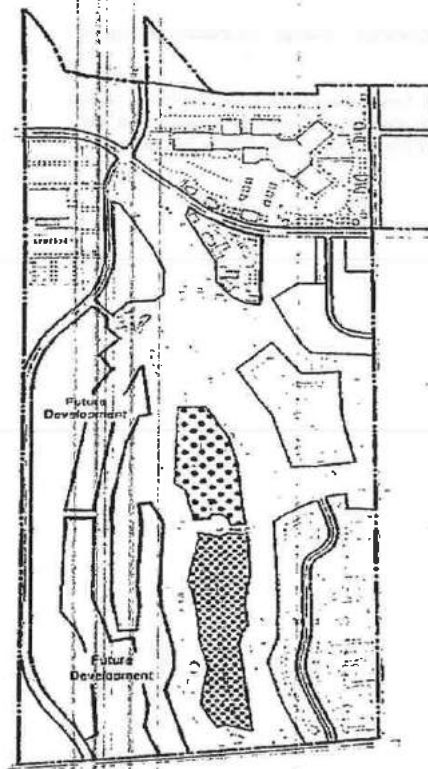
CONSTRUCTION PROCEDURES

5.3 FINES FOR FAILURE TO COMPLY WITH CONSTRUCTION SCHEDULE

A fine of \$50 per day will be imposed by the Association for failure to comply with any of the above-described time periods. The above-described time periods will not be extended by reason of Purchaser's sale of the Lot or by the failure of Purchaser to meet any previous time period.

QUEENSBIDGE

CUSTOM
C-51LOT DESIGN GUIDELINES
04/98/62001100-CST-1.3
12/27/98 4:51PM

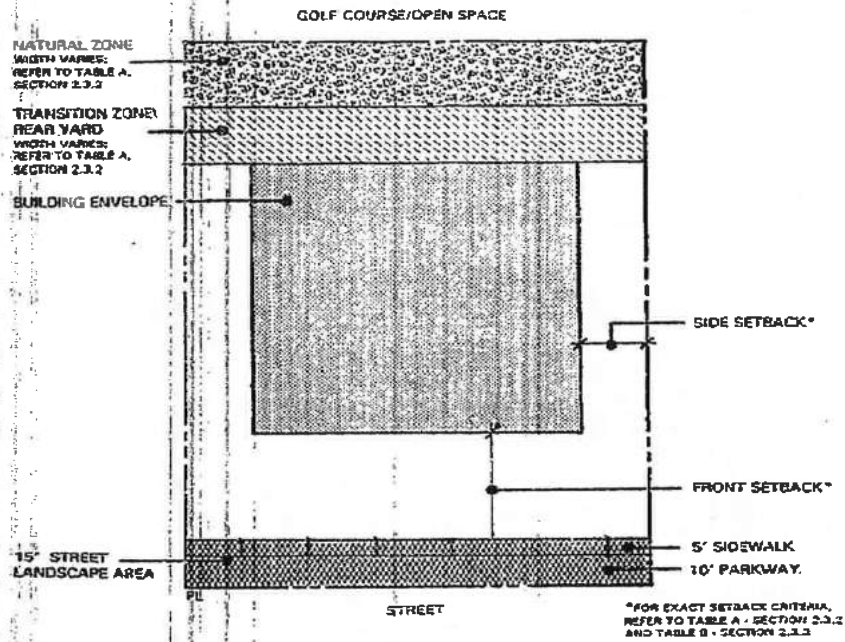


Site Plan is for conceptual purposes only, and is subject to change at the discretion of the Master Developer. Please refer to Engineering Base Maps for exact site layout.

LEGEND

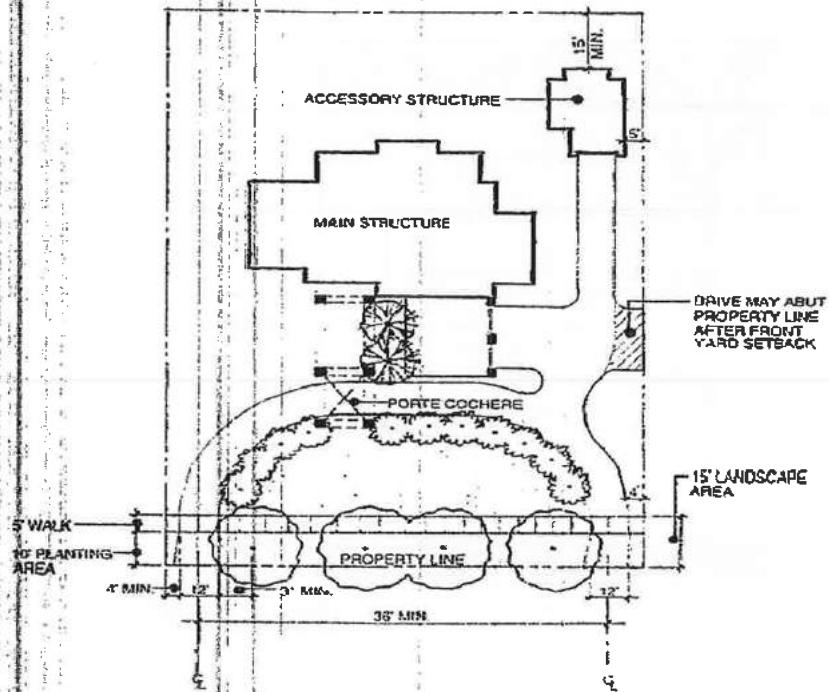
-  1/2 TO 1 AC. LOTS
-  1" - AC. LOTS

EXHIBIT C-1



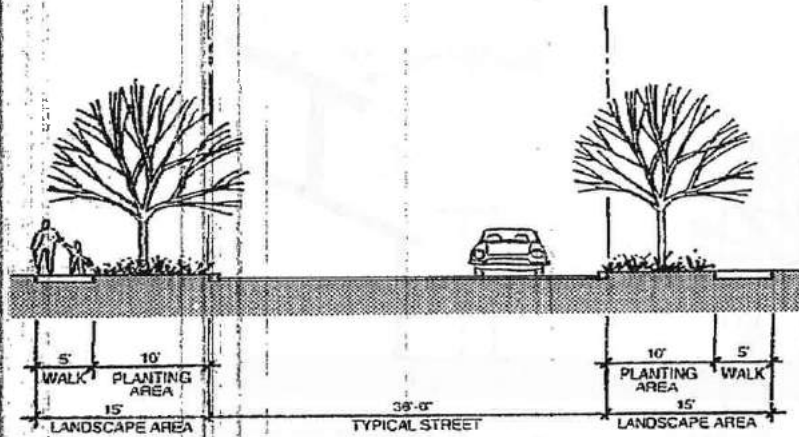
Street Landscape Area dimensions in relation to property
line are subject to change.

EXHIBIT C-2



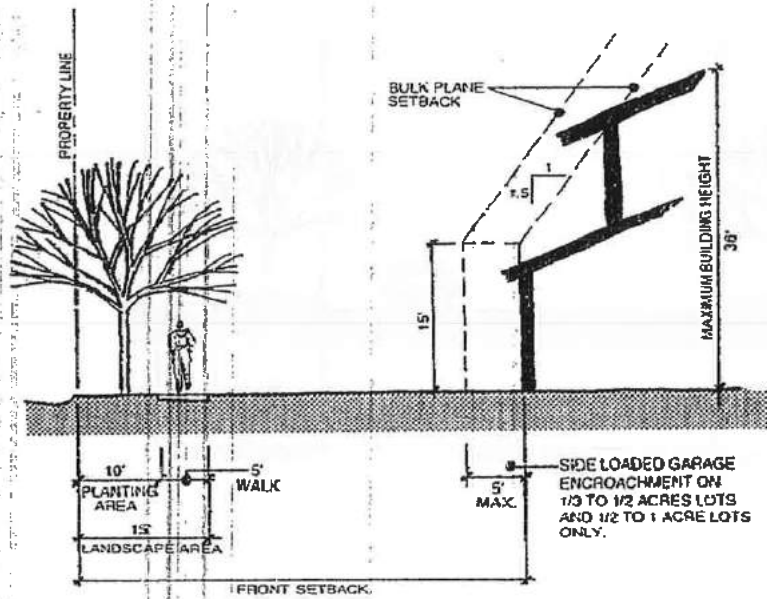
Street Landscape Area dimensions in relation to property line are subject to change.

EXHIBIT C-1



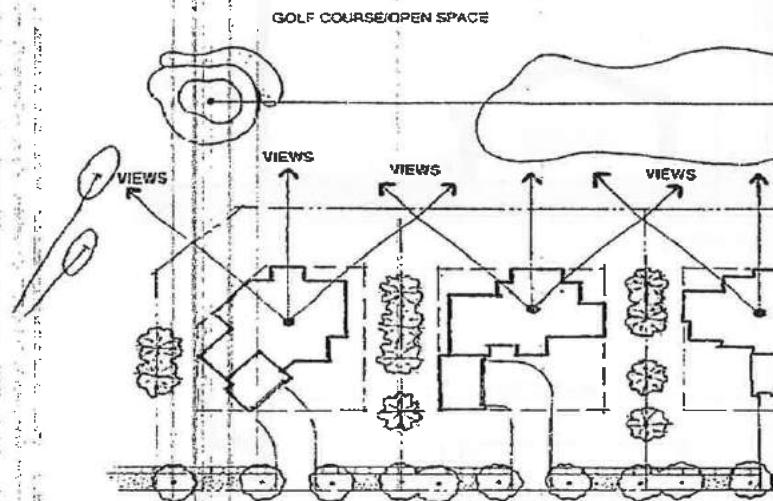
Street Landscape Area dimensions in relation to property line are subject to change.

EXHIBIT C-4



Street Landscape Area dimensions in relation to property line are subject to change.

EXHIBIT C-5

**NOTE**

ORIENT LIVING SPACES TO DOMINANT VIEW
 ARTICULATE REAR BUILDING FACADES AND
 ELEVATIONS TO ENHANCE VIEW FROM OPEN SPACE.

EXHIBIT C-6